	Sheet List		Sheet List		Sheet List
	Sheet List	— A307	Elevations Lot 66 - 72	B2.2-A300	
A0 Site		— A307 — A308	Elevations Lot 70 - 72	B2.2-A300	Elevations
A001	Site Location Plan	— A308 A309	Elevations 59 - 65	TYPE C1	
A002	Site Plan	A310	Elevations 54 - 65	C1-A200	Plans
A003	Site Plan Overall - Part 1	A310	Elevations Lot 40 - 53	C1.1-A300	Elevations
A004	Site Plan Overall - Part 2	A311	Elevations Lots 94 - 101 & 119 - 122	C1.2-A300	Elevations
A005	Compliance Schedule - Lots 1 to 61	A312	Elevations Lot 34 - 38	TYPE C2	
A006	Compliance Schedule - Lots 62 to 122	A314	Elevations Lots 86 - 93		Diago
A007	Ground Floor - Lot 1 - 7	A314 A315	Elevations Lots 60 - 93 Elevations Lot 112 - 118	C2-A200	Plans
A008	Upper Floor - Lot 1 - 7	A316	Elevations Lot 112 - 110	C2-A300	Elevations
A009	Ground Floor - Lot 8 - 16	A310	Elevations Lot 102 - 111	TYPE D1.1	
A010	Upper Floor - Lot 8 -16	A4 Sections		D1.1-A200	Plans
A011	Ground Floor - Lot 17 - 22	A401	Site Section East Bdy 1	D1.1-A300	Elevations
A012	Upper Floor - Lot 17 - 22	A402	Site Sections East Bdy 2		
A013	Ground Floor - Lot 20 - 25	A403	Site Sections West Bdy 1	TYPE D1.2	
A014	Upper Floor - Lot 20 - 25	A404	Site Sections West Bdy 2	D1.2-A200	Plans
A015	Ground Floor - Lot 75 - 85	A405	Site Sections OA1	D1.2-A300	Elevations
A016	Upper Floor - Lot 75 - 85	A406	Site Sections OA2	TYPE E1.1	
A017	Ground Floor - Lot 59 - 74	A407	Site Sections OA3	E1.1-A200	Plans
A018	Upper Floor - Lot 59 - 74	A411	Compliance	E1.1-A300	Elevations
A019	Ground Floor - Lot 49 - 58		, mm, mm,		Liovadorio
A020	Upper Floor - Lot 49 - 58	A7 Perspect		TYPE E1.2	
A021	Ground Floor - Lot 45 - 53	A701	Perspectives	E1.2-A200	Plans
A022	Upper Floor - Lot 45 - 53	A702	Perspectives	E1.2-A300	Elevations
A023	Ground Floor - Lot 40 - 46	A703	Perspectives	TYPE F	
A024	Upper Floor - Lot 40 - 46	A704	Perspectives	F-A200	Plans
A025	Ground Floor - Lot 34 - 38	₩7 95 ₩	Perspectives) F-A300	Elevations
A026	Upper Floor - Lot 34 - 38	A706	Perspectives) F-A300	Lievations
A027	Ground Floor - Lot 86 - 93	TYPE A1.1		TYPE G1	
A028	Upper Floor - Lot 86 - 93	A1.1-A200	Floor Plans	G1.1-A200	Plans
A029	Ground Floor - Lot 112 - 118	A1.1-A300	Elevations	G1.1-A300	Elevations
A030	Upper Floor - Lot 112 - 118			TVDE III	
A031	Ground Floor - Lot 102 - 111	TYPE A1.2		TYPE H1	
A032	Upper Floor - Lot 102 - 111	A1.2-A200	Floor Plans	H1-A200	Plans
A033	Ground Floor - Lot 94-101, 119 to 122	A1.2-A300	A-4 Elevations	H1.1-A300 H1.2-2-	
A034	Upper Floor - Lot 94-101, 119 to 122	TYPE A2		A300	Elevations
A035	Fencing Plan Part 1	A2-A200	Plans	TYPE H2	
A036	Fencing Plan Part 2	A2-A300	Elevations	H2-A200	Plans
A037	Fencing Type	AZ-A300	Lievations	H2.1-A300	Elevations
A037b.	Fencing Type	TYPE B1.1		H2.2-A300	Elevations
A038	Sun Study - Eastern Bdy	B1.1-A200	Plans		
A039	Sun Study - Western Bdy	B1.1-A300	Elevations	TYPE I1	
A040	Sun Study - Outdoor Living	TVDE D4 2		I1-A200	Plans
A041	Sun Study - Outdoor Living	TYPE B1.2	Dione	I1-A300	Elevations
		B1.2-A200		TYPE I2	
A3 Elevation		B1.2-A300	Elevations	I2-A200	Plans
A301	Elevations Lot 1 - 7	TYPE B2.1		12-A300	Elevations
A302	Elevations Lot 8 - 11	B2.1-A200	Plans		
A303	Elevations Lot 11 -13	B2.1-A300	Elevations		
V3U4	Elevations Late 13 16				

TYPE B2.2

B2.2-A200 Plans

A304

A305

A306

Elevations Lots 13 - 16

Elevations Lots 17 - 25

Elevations Lot 75 - 85



08/09/2022

18 SCOTT ROAD HOUSING

18 Scott Road Hobsonville Auckland

Resource Consent Application

For North West Developments

Rev Date 9/03/2022
Job No. 5864
Sheet No. Rev.
A000 B









SITE LOCATION PLAN

SITE ASSESSMENT

Legal Description: LOT 3 DP 89750

Address: 18 Scott Road Hobsonville,

Auckland 0618

3.5516 HA Site Area:

Residential - Mixed Housing Suburban Zone Zone:

Residential - Single House Zone

Site Location Plan

Rev Date 9/03/2022

5864



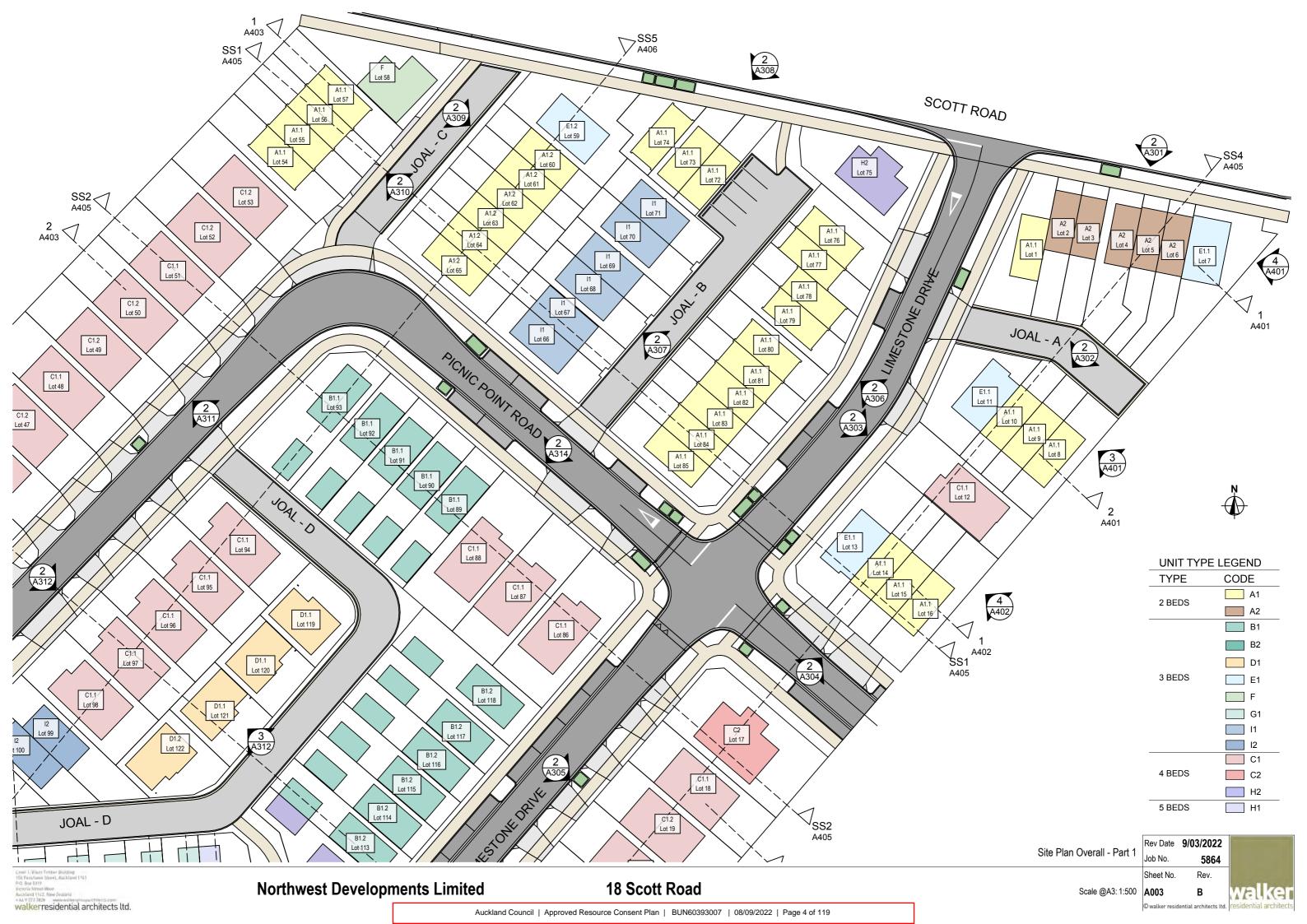
Lowi I, Warr Finder Building
100 Fainthew Sturel, Auckland 1161
PO Des 1919
Victoria Sirnet Warr
Auckland 1162 Fleer Zealand
4 Aux 2019
Work Walker residential architects ltd.

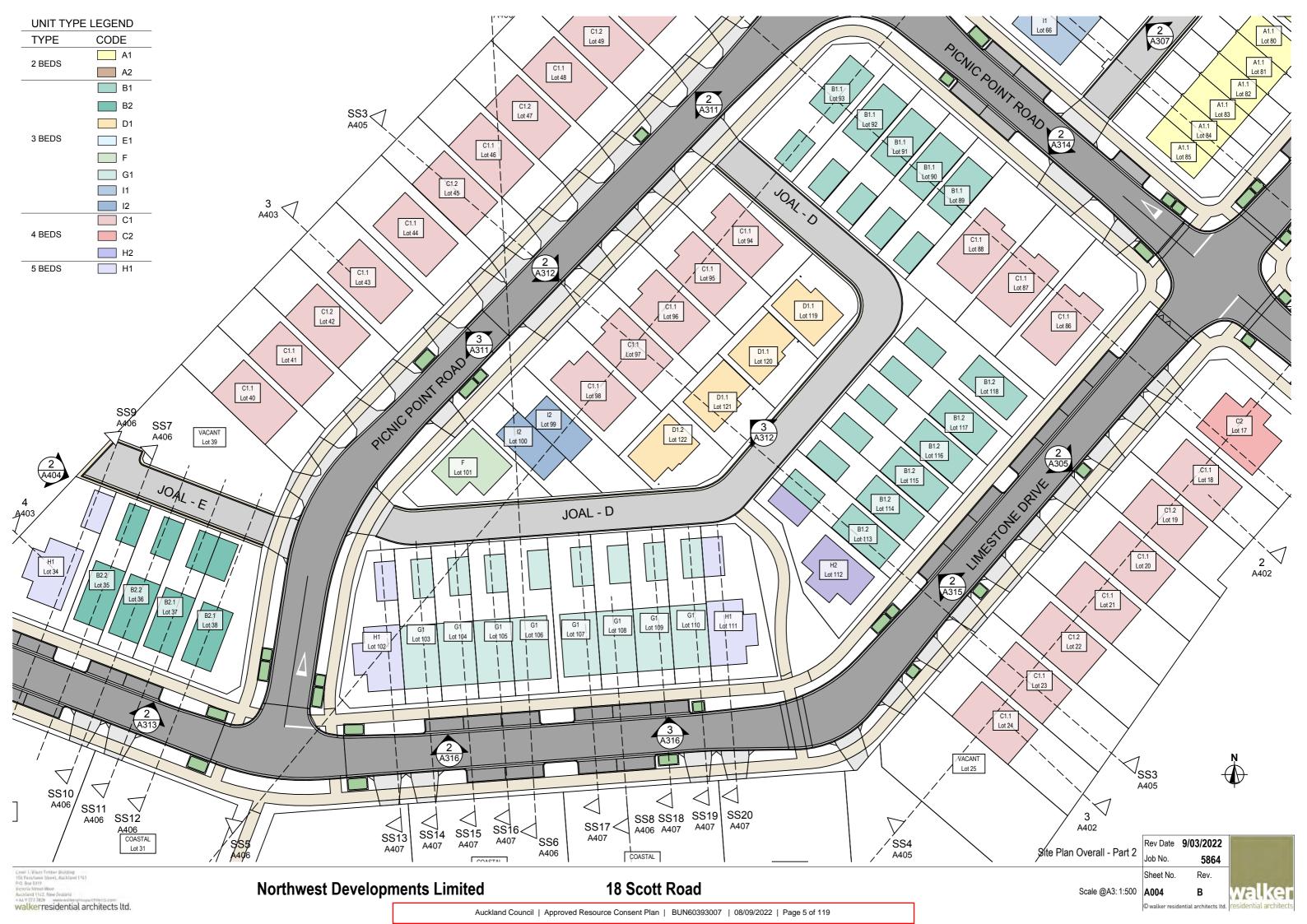
Northwest Developments Limited

18 Scott Road

Scale @A3: 1:1000, 1:500 **A002**

No. 5864 et No. Rev. 12 B Walks





				В	Building Information	n					Areas												Impervious			Building co	verage		Landscaped	area		Front	yard landscaping		Outlook	
Lot Number	and find	Beds Bathroom	En-Suite	Toled	Wardrobes	Storage Study	Lounge	Rumpus	Car Pad	Basement Area Ground Floor Area	Level 1 Area	Roof Area Garage Area	Garage Roof	Density	Affordable housing	Building height	HIRTB	Alternative HIRTB	Yard Setback Front Yard Setback Side	Common walls	Driveway (Exd Roof)	Pathways 1m+ Wide	Total Impervious	Proposed	Comples	Building coverage Max Allowed	Proposed	Complies Landscaped area	Min Required	Porposed Comples	Landscape front yard	Total front yard	Min required Proposed	Complies Main Living 4x6m	Principal Bed 3x3m	Other Bedroom 1x1m 20m² outdoor living
1 15		2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61		47.9 0	0	YES	N/A	YES	YES	N/A	3m 1m		13	1.56	62.46 60		YES		29.16%	YES 90.54		59.2% YE		32.56		'ES YES	YES	N/A YES
2 9		2 1	0 1	1 1	2	1 0	0	0 0	1			43.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES			59.5 60						40%					VO YES		N/A YES
3 9		2 1	0 1	1 1	2	1 0	0	0 0	1	0 39.9		43.9 0	0	YES	N/A	YES	NO	YES	3m 1m				59.95 60	% 62.45%		39.90 40%	41.56%	NO 36.05	40%	37.6% NO	4.85	9.8	50% 49.49%	VO YES	YES	N/A YES
4 13		2 1	0 1	1 1	2	1 0	0	0 0	1	0 39.9		43.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES	15.6		61.78 60	% 44.45%	YES	39.90 40%	28.71%	YES 77.22		55.6% YE	S 5.49	10.63	50% 51.65%	'ES YES	YES	N/A YES
5 10		2 1	0 1	1 1	2	1 0	0	0 0	1	0 39.9		43.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES	15.6	2.56	62.06 60	% 62.06%	NO	39.90 40%	39.90%	YES 37.94		37.9% N	4.8	9.8	50% 48.98%	VO YES	YES	N/A YES
6 10	6 A2	2 1	0 1	1 1	2	1 0	0	0 0	1	0 39.9	43.68	43.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES	15.6	2.39	61.89 60	% 58.39%	YES	39.90 40%	37.64%	YES 44.11	40%	41.6% YE	S 4.8	9.8	50% 48.98%	NO YES	YES	N/A YES N/A YES
7 22 8 13		3 1	1 1	1 1	3	2 0	0	0 0	1	0 60.27	63.13 47.21	63.9 0 47.9 0	0	YES	N/A N/A	YES	NO NO	YES	3m 1m	n YES n YES	15.6	1.56	81.06 60	% 36.51% % 46.79%	YES	60.27 40% 44.61 40%	27.15%	YES 140.9 YES 72.90	4 40%	63.5% YE	S 13.73 S N/A	17.79 N/A	50% 77.18% Y	YES YES	YES	N/A YES N/A YES
		2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61	47.21	47.9	0	YES	N/A	YES	YES	N/A	3m 1m 1m 1m		13	3.2	64.1 60	76 46./9%	TES	44.61 40% 44.61 40%	46.96%	YES 72.90	40%	33.2% TE	N/A	N/A	50% N/A 1	I/A YES	TES	N/A YES
9 9: 10 9:		2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.01	47.21	47.9 0	0	VEC	N/A	VEC	VEC	N/A	1m 1m	n 1E3	13	3.2	64.1 60	V 67.70V	NO	44.61 40%	46.96%	NO 30.50	40%	22.2%	N/A	N/A	50% N/A F	I/A YES	VEC	N/A YES
11 18		2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61	47.21	47.9 0	0	YES	N/A	YES	YES	N/A	1m 1m	n YES	18 98	3.5	70.38 60	% 38.88%	YES	44.61 40%	24 65%	YES 110.6	2 40%	61 1% YE	5 52.44	67.77	50% 77.38%	FS YES	YES	N/A YES
12 20		4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	18.26	3.5	105.66 60	% 51.79%	YES	79.90 40%	39.17%	YES 98.34	40%	48.2% YE	S 27.84	48.39	50% 57.53%	'ES YES	YES	N/A YES
13 19	6 E1.1	3 1	1 1	1 1	3	2 0	0	0 0	1	0 60.27	63.13	63.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES	13	2.3	79.2 60	% 40.41%	YES	60.27 40%	30.75%	YES 116.8	0 40%	59.6% YE	S 53	82.56	50% 64.20%	'ES YES	YES	N/A YES
14 10	8 A1.1	2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61	47.21	47.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES	13	2.2	63.1 60	% 58.43%	YES	44.61 40%	41.31%	NO 44.90	40%	41.6% YE	S 8.24	23.8	50% 34.62%	VO YES	YES	N/A YES
15 10	8 A1.1	2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61	47.21	47.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES	13	2.1	63 60	% 58.33%	YES	44.61 40%	41.31%	NO 45.00	40%	41.7% YE	S 8.24	24.7	50% 33.36%	VO YES	YES	N/A YES
16 16	2 A1.1	2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61	47.21	47.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES	13	2.1	63 60	% 38.89%	YES	44.61 40%	27.54%	YES 99.00	40%	61.1% YE	S 18.64	37.9	50% 49.18%	VO YES	YES	N/A YES N/A YES
17 30	6 C2	4 1	2 (0 1	4	3 1	0	0 1	1	0 88.41	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	20.5	3	107.4 60	% 35.10%	YES	88.41 40%	28.89%	YES 198.6	0 40%	64.9% YE	S 53.88	74.87	50% 71.96%	ES YES	YES	N/A YES
18 20	0 01.1	4 1	2 (0 1	5	3 1	0	0 1	1	0 /9.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	20.5	3	107.4 60	% 52.65%	YES	79.90 40%	39.17%	YES 96.60	40%	47.4% YE	5 24.57	46.27	50% 53.10% 1	ES YES	YES	N/A YES
20 22	6 (11	4 1	2 0	0 1	5	3 1	0	0 1	1	0 79.9	93.25	83.9 0	0	VES	N/A	VES	VES	N/A	3m 1m	n NO	20.5	3	107.4 60	% 31.03% % A7.53%	VES	79.90 40%	35.35%	VES 118.6	0 40%	52.5% VE	S 24.5	46.2	50% 52.00%	ES VES	VEC	N/A YES
21 23		4 1	2 0	0 1	5	3 1	0	0 1	1	0 79.9		83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	20.5	3	107.4 60	% 45.90%	YES	79.90 40%	34.15%	YES 126.6	0 40%	54.1% YE	S 24.32	46.3	50% 52.53%	ES YES	YES	N/A YES
22 24		4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m				107.4 60	% 44.56%	YES	79.90 40%	33.15%	YES 133.6	0 40%	55.4% YE	S 24.1	46.5	50% 51.83%	'ES YES	YES	N/A YES
23 24	8 C1.1	4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m		20.5	3	107.4 60	% 43.31%	YES	79.90 40%	32.22%	YES 140.6	0 40%	56.7% YE	S 24.3	46.3	50% 52.48%	'ES YES	YES	N/A YES N/A YES
24 25	U	4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	20.5	3	107.4 60	% 42.12%	YES	79.90 40%	31.33%	YES 147.6	0 40%	57.9% YE	S 24.7	46.1	50% 53.58%	'ES YES	YES	N/A YES
25 41	7 VACAN	N/A 0	0 (0 0	0	0 0	0	0 N/A	A N/A	N/A N/A		N/A N/A		N/A	N/A	N/A	N/A	N/A	3m 1m	n N/A	0	0	0 60	% 0.00%	N/A	0.00 40%	0.00%	N/A N/A	40%	N/A N/	A 0	0	50% N/A 1	I/A N/A	N/A	N/A N/A
26 69	1 VACAN	N/A 0	0 (0 0	0	0 0	0	0 N/A	A N/A	N/A N/A	N/A	N/A N/A		N/A	N/A	N/A	N/A	N/A	3m 1m	n N/A	0	0	0 60	% 0.00%	N/A	0.00 40%	0.00%	N/A N/A	40%	N/A N/	A 0	0	50% N/A N	I/A N/A	N/A	N/A N/A
27 62	5 VACAN	N/A 0	0 0	0 0	0	0 0	0	0 N/A	A N/A	N/A N/A N/A N/A	N/A N/A	N/A N/A		N/A N/A	N/A N/A	N/A N/A	N/A N/A	N/A N/A	3m 1m 3m 1m	n N/A n N/A	0	0	0 60	% 0.00%	N/A N/A	0.00 40% 0.00 40%	0.00%	N/A N/A N/A N/A	40%	N/A N/	A 0	0	50% N/A F	I/A N/A	N/A N/A	N/A N/A
29 60	O VACAN	N/A U	0 0	0 0	0	0 0	0	0 N/A	A N/A	N/A N/A		N/A N/A		N/A N/A	N/A	N/A N/A	N/A N/A	N/A	3m 1m		0	0	0 60	% 0.00%	N/A N/A	0.00 40%		N/A N/A		N/A N/	A 0	0		I/A N/A	N/A N/A	N/A N/A
30 61	7 VACAN	N/A 0	0 0	0 0	0	0 0	0	0 N/A	Δ N/Δ	N/A N/A	N/A	N/A N/A	N/A	N/A	N/A	N/A	N/A	N/A	3m 1m		0	0	0 60	6 0.00%	N/A	0.00 40%		N/A N/A	40%	N/A N/	Δ 0	0	50% N/A P	I/A N/A	N/A	N/A N/A
31 60	1 VACAN	N/A 0	0 0	0 0	0	0 0	0	0 N/A	A N/A	N/A N/A	N/A	N/A N/A	N/A	N/A	N/A	N/A	N/A	N/A	3m 1m	n N/A	0	0	0 60	% 0.00%	N/A	0.00 40%	0.00%	N/A N/A	40%	N/A N/	A 0	0	50% N/A 1	I/A N/A	N/A	N/A N/A
32 60	3 VACAN	N/A 0	0 (0 0	0	0 0	0	0 N/A	A N/A	N/A N/A	N/A	N/A N/A	N/A	N/A	N/A	N/A	N/A	N/A	3m 1m	n N/A	0	0	0 60	% 0.00%	N/A	0.00 40%	0.00%	N/A N/A	40%	N/A N/	A 0	0	50% N/A 1	I/A N/A	N/A	N/A N/A
33 69		N/A 0	0 (0 0	0	0 0	0	0 N/A	A N/A	N/A N/A	N/A	N/A N/A	N/A	N/A	N/A	N/A	N/A	N/A	3m 1m	n N/A	0	0	0 60	% 0.00%	N/A	0.00 40%	0.00%	N/A N/A	40%	N/A N/	A 0	0	50% N/A N	I/A N/A	N/A	N/A N/A
34 28		5 1	2 (0 1	5	3 1	1	0 1	1	36.51 69.64	69.64	71.2 19.68	19.9	YES	N/A	YES	NO	YES	3m 1m	n NO	18.24	14.3	123.64 60	% 43.38%	YES	89.32 40%	31.34%	YES 161.3	6 40%	56.6% YE	S 36.72	48.42	50% 75.84%	'ES YES	YES	N/A YES
35 14 36 14		3 2	1 1	1 1	3	3 1	0	0 1	. 0	31.82 49.75	52.74	53.2 19.68	19.9	YES	N/A	YES	YES	N/A	3m 1m	n NO	3.3	5.2	81.6 60	% 56.67%	YES	69.43 40%	48.22%	NO 62.40	40%	43.3% YE	S 7.5	14.7	50% 51.02%	ES YES	YES	N/A YES
36 14	4 82.2	3 2	1 1	1 1	3	3 1	0	0 1	0	31.82 49.75	52.74	53.2 19.68	19.9	YES	N/A N/A	YES	YES	N/A	3m 1m	n NO	3.3	5.2	81.6 60	% 56.6/%	YES	69.43 40%	48.22%	NO 62.40	40%	43.3% YE	5 7.4	13.8	50% 53.62% 1	ES YES	YES	N/A YES
39 22	9 82.1	3 2	1 1	1 1	3	3 1	0	0 1	1	31.02 45.75	52.74	53.2 19.00	10.0	VES	N/A	VES	VES	N/A N/A	3m 1m	n NO	19.5	5.2	96.8 60	% 07.22% % A2.27%	VES	69.43 40%	20.22%	VES 122.2	0 40%	57.7% VE	5 14.78	24.7	50% 50.36%	ES VES	VEC	N/A YES N/A YES
39 32	2 VACAN	N/A 0	0 (0 0	0	0 0	0	0 N/4	Δ Ν/Δ	N/A N/A	N/A	N/A N/A	N/A	N/A	N/A	N/A	N/A	N/A	3m 1m	n N/A	0	0	0 60	% 0.00%	N/A	0.00 40%	0.00%	N/A N/A	40%	N/A N/	Δ 0	0	50% N/A 1	I/A N/A	N/A	N/A N/A
40 20		4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.5	1.56	104.96 60	% 50.46%	YES	79.90 40%	38.41%	YES 103.0	4 40%	49.5% YE	S 27.2	45.7	50% 59.52%	'ES YES	YES	N/A YES
41 20		4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.2	1.56	104.66 60	% 51.30%	YES	79.90 40%	39.17%	YES 99.34	40%	48.7% YE	S 27.3	45.7	50% 59.74%	'ES YES	YES	N/A YES
42 20		4 1	2 (0 1	5	3 1	0	0 1	. 1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.2	1.56	104.66 60	% 51.30%	YES	79.90 40%	39.17%	YES 99.34	40%	48.7% YE	S 27.2	45.7	50% 59.52%	'ES YES	YES	N/A YES
43 25		4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m		19.2	1.56	104.66 60	% 41.53%	YES	79.90 40%	31.71%	YES 147.3	4 40%	58.5% YE	S 27.3	45.7	50% 59.74%	'ES YES	YES	N/A YES
44 25		4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.2	1.56	104.66 60	% 41.53%	YES	79.90 40%	31.71%	YES 147.3	4 40%	58.5% YE	S 37.3	55.7	50% 66.97%	ES YES	YES	N/A YES
45 20	4 (1.1	4 1	2 (0 1	5	3 1	0	0 1		0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.2	1.56	104.00 00	% 51.30% % 51.30%	YES	79.90 40%	39.17%	YES 99.34	40%	48.7% TE	S 37.2	55./ 45.7	50% 59.96%	ES YES	VEC	N/A TES
46 20 47 20 48 20	4 C1.2	4 1	2 0	0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.2	1.56	104.66 60	% 51.30%	YES	79.90 40%	39.17%	YES 99.34		48.7% YE	S 27.4	45.7	50% 59.96%	ES YES	YES	N/A YES N/A YES
48 20	4 C1.1	4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.2	1.56	104.66 60	% 51.30%	YES	79.90 40%	39.17%	YES 99.34		48.7% YE	S 27.3	45.7	50% 59.74%	'ES YES	YES	N/A YES
49 20	4 C1.2	4 1	2 (0 1	5	3 1	0	0 1	. 1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.5	1.56	104.96 60	% 51.45%	YES	79.90 40%	39.17%	YES 99.04	40%	48.5% YE	S 27.4	45.7	50% 59.96% 1	'ES YES	YES	N/A YES
50 20		4 1	2 (0 1	5	3 1	0	0 1	. 1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.5	1.56	104.96 60	% 51.45%	YES	79.90 40%	39.17%	YES 99.04	40%	48.5% YE	S 27.6	45.7	50% 60.39% 1	'ES YES	YES	N/A YES
51 20		4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.5	1.56	104.96 60	% 51.45%	YES	79.90 40%	39.17%	YES 99.04	40%	48.5% YE	S 27.3	45.7	50% 59.74%	'ES YES	YES	N/A YES
52 20 53 20		4 1	2 (0 1	5	3 1	0	0 1	1	0 79.9	83.25	83.9 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	19.5	1.56	104.96 60	% 51.45% v 51.60~	YES	79.90 40%	39.17%	YES 99.04	40%	48.5% YE	5 27.1	45.7	50% 59.30%	YES YES	YES	N/A YES N/A YES
53 20 54 14		2 1	0 1	1 1	2	1 0	0	0 0	1	0 /9.9	83.23 47.21	479 0	0	YES	N/A N/A	YES	YES	N/A N/A	1m 1m	n yes	15.8	1.56	65.26 60	% 31.50% % 44.70%	YES	44 61 40%	30.55%	YES 98.94	40%	55.3% YE	S N/A	32.50 N/A	50% 04.10% 1	I/A YES	YES	N/A YES
55 11		2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61	47.21	47.9 0	0	YES	N/A	YES	YES	N/A	1m 1m	n YES	14.3	1.56	63.76 60	% 57.96%	YES	44.61 40%	40.55%	NO 46.24	40%	42.0% YE	S N/A	N/A	50% N/A 1	I/A YES	YES	N/A YES
56 10		2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61		47.9 0	0	YES	N/A	YES	YES	N/A	1m 1m	n YES	13.9	1.56	63.36 60	% 58.67%	YES	44.61 40%	41.31%	NO 44.64	40%	41.3% YE	S N/A	N/A	50% N/A N	I/A YES	YES	N/A YES
57 13	1 A1.1	2 1	0 1	1 1	2	1 0	0	0 0	1	0 44.61		47.9 0	0	YES	N/A	YES	YES	N/A	1m 1m	n YES	15	1.56	64.46 60	% 49.21%	YES	44.61 40%	34.05%	YES 66.54	40%	50.8% YE	S N/A	N/A	50% N/A N	I/A YES	YES	N/A YES N/A YES
58 18	7 F	3 1	2 (0 1	3	1 1	0	0 1	0	0 62.64	73.37	74.1 0	0	YES	N/A	YES	YES	N/A	3m 1m	n NO	11.6	1.56	87.26 60	% 46.66%	YES	62.64 40%	33.50%	YES 99.74	40%	53.3% YE	S 55.2	59.76	50% 92.37%	'ES YES	YES	N/A YES
59 21		3 1	1 1	1 1	0	0 0	0	0 0	1	0 61.25	62.16	63.1 0	0	YES	N/A	YES	YES	N/A	3m 1m	n YES	13	3.2	79.3 60	% 36.38%	YES			YES 138.7		63.6% YE	S 74.2	77.81	50% 95.36%	'ES YES	YES	N/A YES
60 9:		2 1	0 1	1 1	2	1 0	0	0 0	1	0 45.45				YES			YES		1m 1m							45.45 40%								I/A YES		N/A YES
61 9:	3 A1.2	2 1	U	1 1	2	1 0	J	0 0	1	0 45.45	45.23	40.2	0	152	N/A	TES	155	N/A	ım lm	n YES	13	3.1	02.3 bi	% 66.99%	NO	45.45 40%	48.87%	NU 30.70	40%	33.0% N	N/A	N/A	50% N/A P	I/A YES	152	N/A YES

Compliance Schedule - Lots 1 to 61

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UNIT SUMMARY AND COMPLIANCE

					Build	ding Information							Areas												Impervious				Building coverage		La	indscaped area			Front yard la	andscaping		0	lutlook	
ot Number	Unit type	Beds	Bathroom	En-suite Toilet	Laundry	Mardrobes	Storage	Study	Rumpus Garage	Car Pad	sement Area	and Floor Area	evel 1 Area Roof Area	arage Area	arage Roof	Density	rdable housing	ilding height	HIRTB	Setback Front	d Setback Side	mmon walls	way (Excl Roof)	vays 1m+ Wide	ax Allowed	Proposed	Complies	ding coverage	Proposed	Complies	dscaped area	Porposed	Complies	cape front yard	tal front yard	Proposed	Complies	n Living 4x6m	spal Bed 3x3m Bedroom 1x1m	outdoor living
62 93	3 A12	2	1	0 1	1	2	1	0 0	0 0	1	2	45.45	45.23 46.2	0	0	YES	N/A	a ves	YES N/A	Im	1m	YES	2 0 13	1 1 S	3 609	6 66.99%	NO	45.45	40% 48.87%	NO	30.70 40%	6 33.0%	NO	N/A	P ≥	% N/A	N/A	YES	YES N/A	R N N
63 93		2	1	0 1	1	2	1	0 0	0 0	1	0	45.45	45.23 46.2		0	YES	N/A		YES N/A				13			67.10%			40% 48.87%	NO		6 32.9%			N/A 50			YES	YES N/A	
64 93	3 A1.2	2	1	0 1	. 1	2	1	0 0	0 0	1	0	45.45	45.23 46.2	0	0	YES	N/A	YES	YES N/A				13	3.1 62	3 609	66.99%	NO	45.45	40% 48.87%		30.70 40%	6 33.0%	NO	N/A	N/A 50	% N/A	N/A	YES	YES N/A	A YES
65 128	8 A12	2	1	0 1	. 1	2	1	0 0	0 0	1	0	45.45	45.23 46.2	0	0	YES	N/A	YES	YES N/A	3m	1m	YES	13	3.2 62	.4 605	48.75%	YES	45.45	40% 35.51%	YES	65.60 40%	6 51.3%	YES	N/A	N/A 50	% N/A	N/A	YES	YES N/A	A YES
66 127	6 11	3	1	1 0	1	3	1	1 0	0 0	1	0	50	53 53.9	0	0	YES	N/A	YES	YES N/A	3m	1m	YES	13	3.2 70	1 605	55.63%	YES	50.00	40% 39.68%	YES	55.90 40%	6 44.4%	YES	N/A	N/A 50	% N/A	N/A	YES	YES N/A	A YES
67 10	1 11	3	1	1 0	1	3	1	1 0	0 0	1	0	50	53 53.9	0	0	YES	N/A	YES	YES N/A		1m	YES	13	3.1 7	0 605	69.31%	NO	50.00	40% 49.50%	NO	31.00 40%	6 30.7%	NO	N/A	N/A 50	% N/A	N/A	YES	YES N/A	A YES
68 120	0 11	3 3 3	1	1 0	1	3	1	1 0	0 0	1	0	50	53 53.9	0	0	YES	N/A	YES	YES N/A	1m	1m	YES	13	3.1 7	0 605	58.33%	YES	50.00	40% 41.67%	NO	50.00 40%	6 41.7%	YES	N/A	N/A 50	% N/A	N/A	YES	YES N/A	YES
66 126 67 101 68 120 69 98 70 123	3 11			1 0	1	3	1	1 0	0 0	1	0	50	53 53.9	0	0	YES	N/A		YES N/A	1m	1m	YES	13	3.2 70	.1 605	6 71.53%	NO	50.00	40% 51.02%	NO	27.90 40%	6 28.5%	NO	N/A	N/A 50	% N/A	N/A	YES	YES N/A	YES
70 123	3 11	3		1 0	1	3	1	1 0	0 0	1	0	50	53 53.9	0	0	YES	N/A		YES N/A		1m	YES	13	3.2 70	.1 605	56.99%	YES	50.00	40% 40.65%	NO	52.90 40%	6 43.0%	YES	N/A	N/A 50	% N/A	N/A	YES	YES N/A	YES
71 121	1 11	3	1 1	0 1	1 1	3	1	0 0	0 0	1	0	50	53 53.9 47.21 47.9	0	0	YES YES	N/A N/A		YES N/A YES N/A			YES	13	3.2 /t	0 605	57.93%	YES		40% 41.32% 40% 52.48%		33.10 409	6 42.1%	YES	N/A	N/A 50	% N/A	N/A	YES	YES N/A	YES
72 05	0 A1.1	2	1	0 1	1	2	1	0 0	0 0	1	0	44.01	47.21 47.5	0	0	YES	N/A		YES N/A YES N/A	3m 3m	1m 1m		0	4 5:	9 605	58.31%	VES		40% 50.12%		27.10 40%	6 38.5% 6 A1 7%	VES	18 56	20.77 50	% 63.45%	VES	VEC	VES N/A	A VES
72 85 73 89 74 101	1 A1.1	2	1	0 1	1	2	1	0 0	0 0	1	0	44.61	47.21 47.9	0	0	YES	N/A		YES N/A	2m	1m		0		.9 605		YES		40% 44.17%		49.10 40%	6 48.6%	YES	15.94	20.56 50			YES	YES N/A	A YES
75 218	8 H2	4		1 0	1	4	1	0 1	0 0	2	0	69.64	69.64 71.2	19.68	19.9	YES	N/A		YES N/A	3m	1m		25	3.5 11	9.6 605				40% 40.97%	NO	98.40 40%	6 45.1%	YES		47.19 50			YES	YES N/A	A YES
76 128 77 80 78 86	8 A1.1	2	1	0 1	1	2	1	0 0	0 0	1	0		47.21 47.9		0	YES	N/A		YES N/A	3m	1m		17	3.2 68	.1 605				40% 34.85%		59.90 40%	6 46.8%	YES		33.3 50			YES	YES N/A	A YES
77 80	A1.1	2	1	0 1	. 1	2	1	0 0	0 0	1	0	44.61	47.21 47.9	0	0	YES	N/A	YES	YES N/A		1m	YES	0	3 50	9 605		NO		40% 55.76%	NO	29.10 40%	6 36.4%	NO	20.89	26.2 50	% 79.73%	YES	YES	YES N/A	A YES
78 86	6 A1.1	2	1	0 1	1	2	1	0 0	0 0	1	0	44.61	47.21 47.9	0	0	YES	N/A	YES	YES N/A	3m	1m	YES	0	3.2 51		59.42%			40% 51.87%		34.90 40%	6 40.6%	YES		13.44 50		YES	YES	YES N/A	YES
79 115	5 A1.1	2		0 1	. 1	2	1	0 0	0 0	1	0	44.61	47.21 47.9	0	0	YES	N/A		YES N/A				13	3.2 64	.1 609	55.74%	YES		40% 38.79%		50.90 40%	6 44.3%	YES	12.9	24.5 50	% 52.65%	YES	YES	YES N/A	YES
80 118	8 A1.1		1	0 1	. 1	2	1	0 0	0 0	1	0	44.61	47.21 47.9	0	0	YES	N/A		YES N/A				13	3.1 6	4 605	54.24%	YES	44.61	40% 37.81%	YES	54.00 40%	6 45.8%	YES	16.8	27.2 50	% 61.76%	YES	YES	YES N/A	YES
81 94		2	1	0 1	1	2	1	0 0	0 0	1	0	44.61	47.21 47.9	0	0	YES	N/A	YES	YES N/A		1m	YES	13	3.1 6	4 605	68.09%	NO		40% 47.46%	NO	30.00 40%	6 31.9%	NO	15.2	21.5 50	% 70.70%	YES	YES	YES N/A	
82 94 83 94		2	1	0 1	1	2	1	0 0	0 0	1	0	44.61	47.21 47.9	0	0	YES	N/A N/A	YES	YES N/A YES N/A		1m	YES	13	3.1 6	4 605	6 68.09%	NO NO	44.61 44.61	40% 47.46% 40% 47.46%	NO NO	30.00 409	6 31.9%	NO	15.2	21.5 50	% 70.70%	YES	YES	YES N/A	YES
84 94		2	1	0 1		2	1	0 0	0 0	- 1	0	44.61	47.21 47.9	0	0	YES	N/A		YES N/A		1m	YES	13	3.1 6	4 605	68.09%	NO NO	44.61	40% 47.46%	NO NO	30.00 40%	6 31.9%	NO	15.2	21.4 50	% 70.70%	YES	VEC	YES N/A	A VEC
85 124		2	1	0 1	1	2	1	0 0	0 0	1	0		47.21 47.9	0	0	YES	N/A		YES N/A		1m	YES	13	3.2 6	.1 605		YES		40% 35.98%	VFS	59.90 40%		YFS		26.2 50			YES	YES N/A	
86 260	0 C1.1	4	1	2 0	1 1	5	3	1 0	0 1	1	0	79.9			0	YES	N/A		YES N/A				25		1.9 605				40% 30.73%		146.10 409	6 56.2%	YES		84.5 50			YES	YES N/A	
87 212	2 C1.1	4	1	2 0	1	5	3	1 0	0 1	1	0	79.9	83.25 83.9	0	0	YES	N/A		YES N/A				28	5 11	i.9 60t	55.14%	YES	79.90	40% 37.69%		95.10 40%	6 44.9%	YES	42.3	76.1 50	% 55.58%	YES	YES	YES N/A	A YES
88 263 89 150	3 C1.1	4 3	1	2 0	1	5	3	1 0	0 1	1	0	79.9	83.25 83.9	0	0	YES	N/A	YES	YES N/A	3m	1m 1m	NO	27.6	5 11	5.5 605	44.30%	YES	79.90	40% 30.38%	YES	146.50 40%	6 55.7%	YES	43.1	77.2 50	% 55.83%	YES	YES	YES N/A	A YES
89 15/	0 B1.1	3	1	1 0	1	3	1	1 0	0 1	0	0	50.38	53 53.5	19.68	19.9	YES	N/A	YES	YES N/A	3m	1m	NO	4.5	4 8:	.9 605	54.60%	YES		40% 46.71%	NO	68.10 40%	6 45.4%	YES	10.9	15.07 50	% 72.33%	YES	YES	YES N/A	A YES
90 150	0 B1.1	3	1	1 0	1	3	1	1 0	0 1	0	0	50.38	53 53.5	19.68	19.9	YES	N/A		YES N/A		1m	NO	4.5	4.2 82	.1 609	54.73%	YES	70.06	40% 46.71%	NO	67.90 40%	6 45.3%	YES	10.2	15.7 50	% 64.97%	YES	YES	YES N/A	A YES
91 150	0 B1.1	3	1	1 0	1	3	1	1 0	0 1	0	0	50.38	53 53.5	19.68	19.9	YES	N/A	YES	YES N/A	3m		NO	4.5	4.1 8	2 605			70.06	40% 46.71%		68.00 40%				15.3 50		YES	YES	YES N/A	YES
92 150	0 B1.1	3	1	1 0	1	3	1	1 0	0 1	0	0	50.38	53 53.5	19.68	19.9	YES	N/A		YES N/A		1m	NO NO	4.5	4.2 82	.1 605	54./3%	YES		40% 46.71%		67.90 40%	6 45.3%	YES	10.7	15.8 50	% 67.72%	YES	YES	YES N/A	YES
93 241 94 191	1 61.1	3 4	1	3 0	1	5	2	1 0	0 1	1	0	30.38	33 33.3	19.68	19.9	YES	N/A		YES N/A YES N/A		1m	NO NO	4.5	35 10	2 607	54.02%	VEC	70.06 79.90	40% 29.07% 40% 41.83%		259.00 409	6 00.0%	YES	21.3	41.7 50	% 64.78% v co.94v	YES	VEC	YES N/A	A VEC
OF 170	0 (1.1	4		2 0	1	5	3	1 0	0 1	1	0	79.9	83.25 83.9	0	0	YES	N/A		YES N/A			NO NO	17.7	3.5 10	1 605	58 72%	YES	79.90	40% 44.64%	NO.	73.90 409	6 41.3%	YES	21.3	41.6 50	% 51.20%	YES	YES	YES N/A	A YES
96 17	'8 C1.1	4	1	2 0	1 1	5	3	1 0	0 1	1	0	79.9	83.25 83.9	0	0	YES	N/A	YES	YES N/A		1m	NO NO	17.7	3.5 10	.1 605	59.04%	YES	79.90	40% 44.89%	NO NO	72.90 40%	6 41.0%	YES	20.9	41.4 50	% 50.48%	YES	YES	YES N/A	A YES
97 17'	9 C1.1	4	1	2 0	1	5	3	1 0	0 1	1	0	79.9	83.25 83.9	0	0	YES	N/A	YES	YES N/A		1m	NO	17.7	3.5 10	5.1 609	58.72%	YES	79.90	40% 44.64%	NO	73.90 40%	6 41.3%	YES	21.1	41.3 50	% 51.09%	YES	YES	YES N/A	A YES
98 21	0 C1.1	4 4 3	1	2 0	1	5	3	1 0	0 1	1	0	79.9	83.25 83.9	0	0	YES	N/A		YES N/A	3m	1m	NO	17.7	3.2 10	1.8 605	49.90%	YES	79.90	40% 38.05%	YES	105.20 40%	6 50.1%	YES	20.8	41.2 50	% 50.49%	YES	YES	YES N/A	A YES
99 15/	6 12	3	1	1 0	1	3	3	1 0	0 1	1	35.89		53 53.9		0	YES	N/A		YES N/A		1m	YES	37.2		.1 609			50.00	40% 32.05%		58.90 40%	6 37.8%	NO	19.14	35.7 50			YES	YES N/A	
100 122	13 12	3		1 0	1	3	3	1 0	0 1	1	35.89		53 53.9		0	YES			YES N/A				20.92		02 609			50.00	40% 40.65%		41.98 40%	6 34.1%	NO		24.5 50			YES	YES N/A	
96 178 97 179 98 210 99 156 100 123 101 171 102 197	1 F	3	1	2 0	1	3	1	1 0	0 1	0	0	62.64	73.37 74.1		0	YES	N/A		YES N/A				9.9	3.2 87	.2 605	50.99%	YES		40% 36.63%		83.80 409	6 49.0%	YES	22.26	33.13 50			YES	YES N/A	YES
102 197	/ H1	5	1	2 0	1	5	3	1 1	0 1	0	36.51	69.64	69.64 71.2 59.1 59.5	19.68	19.9	YES	N/A N/A		YES N/A YES N/A			NO NO	6.3	3 10	1.4 605	50.96%	YES	89.32 78.78	40% 45.34% 40% 53.23%		96.60 40% 59.30 40%	49.0%	YES	9.7	18.47 50°	% 52.52% % 53.63%		YES	YES N/A	YES
103 148 104 148 105 148	0 61	3	1	1 1	1	3	2	1 0	1 1	0	31.45	59.1	59.1 59.5		19.9	755	N/A N/A		YES N/A			YES	0.3	3 89		59.93%			40% 53.23% 40% 53.23%		59.30 409	40.1%	YES		12.4 50			YES	YES N/A	TES VEC
105 14	8 G1	3		1 1	1	3	2	1 0	1 1	0			59.1 59.5	19.68		YFS	N/A		YES N/A				7.2		.6 605		NO NO	78.78	40% 53.23%	NO.	58.40 40%	6 39.5%	NO NO	6.65				YES	VFS N/A	A YES
106 17	4 G1	3		1 1	1	3	2	1 0	1 1	0	31.45	59.1	59.1 59.5	19.68	19.9	YES	N/A		YES N/A		1m	YES	6.4		.8 605				40% 45.28%		80.20 40%	6 46.1%	YES		15.3 50		YES	YES	YES N/A	A YES
106 174 107 174 108 148 109 148	4 G1	3		1 1	1	3	2	1 0	1 1	0	31.45	59.1	59.1 59.5	19.68	19.9	YES	N/A		YES N/A			YES	6.5		.9 605	53.97%	YES		40% 45.28%	NO	80.10 40%	6 46.0%	YES	9.3	15.3 50	% 60.78%	YES	YES	YES N/A	A YES
108 14	8 G1	3	1	1 1	. 1	3	2	1 0	1 1	0	31.45	59.1	59.1 59.5	19.68	19.9	YES	N/A		YES N/A				6.9	3 89	3 605	60.34%	NO		40% 53.23%	NO	58.70 40%	6 39.7%	NO	6.65	12.4 50	% 53.63%	YES	YES	YES N/A	A YES
109 14 ^f	8 G1	3	1	1 1	. 1	3	2	1 0	1 1	0	31.45	59.1	59.1 59.5	19.68	19.9	YES	N/A	YES	YES N/A	3m	1m	YES	6.9	3 89	.3 605	60.34%	NO	78.78	40% 53.23%	NO	58.70 40%	6 39.7%	NO	6.65	12.4 50	% 53.63%	YES	YES	YES N/A	A YES
110 148	8 G1	3	1	1 1	1	3	2	1 0	1 1	0	31.45	59.1	59.1 59.5	19.68	19.9	YES	N/A	YES	YES N/A		1m	YES	6.5	3 88	.9 605	60.07%	NO	78.78	40% 53.23%	NO	59.10 40%	6 39.9%	NO	6.65	12.4 50	% 53.63%	YES	YES	YES N/A	YES
111 225 112 211 113 150	5 H1	5 4 3	1	2 0	1	5	3	1 1	0 1	1	36.51	69.64	69.64 71.2	19.68	19.9	YES	N/A	YES	YES N/A		1m	NO	6.4	8 10	5.5 609	46.89%	YES	89.32	40% 39.70%	YES	119.50 409	6 53.1%	YES	12.3	21.2 50	% 58.02%	YES	YES	YES N/A	YES
112 21	1 H2	4	1	1 0	1	4	1	0 1	0 1	1	0	69.64	69.64 71.2	19.68	19.9	YES	N/A	YES	YES N/A	3m	1m	NO	6.3	6 10	1.4 605	49.00%	YES	89.32	40% 42.33%	NO	107.60 409	6 51.0%	YES	18.59	27.57 50	% 67.43%	YES	YES	YES N/A	YES
113 150	0 B1.2	3	1	1 0	1	3	1	1 0	0 1	0	0	50.38	53 53.3	19.68	19.9	YES	N/A	YES	YES N/A		1m	NO NO	6.3	6 8	5 605	57.00% 57.00%	YES	70.06	40% 46.71% 40% 46.71%	NO NO	64.50 40%	43.0%	YES	6.9	13.48 50°	% 51.19% % 51.19%	YES	YES	YES N/A	YES
114 150		3	1	1 0	1	3	1	1 0	0 1	0	0	50.38 50.38	53 53.3	19.68	19.9	YES	N/A N/A		YES N/A		1m 1m	NO NO	6.3	b 85	.5 605 .9 605		YES	70.06 70.06			65.10 40%	6 43.0% 6 43.4%	YES		13.48 50 13.48 50			YES YES	YES N/A YES N/A	
115 150 116 150		3	1	1 0	1	3	1	1 0	0 1	0	0	50.38	53 53.3	19.68		YES			YES N/A YES N/A				6.3	5.4 84	9 605	56.60%	YES		40% 46.71% 40% 46.71%		65 10 40%	43.4%	VES		13.48 50			VES	YES N/A	
116 150 117 150	0 B1.2	3	1	1 0	1	3	1	1 0	0 1	0	0	50.38	53 52.2	19.68	19.9	YES	N/A		YES N/A		1m	NO	6.3	5.8 8	.9 605	56.87%			40% 46.71%		64.70 40%	6 43.4%	YES	6.9				VES	YES N/A	
118 20	0 B1.2	3	1	1 0	1	3	1	1 0	0 1	0	0	50.38	53 53.3					YES	YES N/A	3m		NO							40% 35.03%	YES			YES					YES	YES N/A	
118 200 119 144	4 D1.1		1	1 0	1	4	2	0 0	0 1	1		60.34		0	0	YES	N/A	YES	YES N/A	1m	1m	NO	15.7	3.2 80	.4 605	55.83%	YES	60.34	40% 41.90%	NO	63.60 40%			N/A	N/A 50	% N/A	N/A	YES	YES N/A	
120 136	6 D1.1	3	1	1 0	1	4	2	0 0	0 1	1	0	60.34		0	0	YES	N/A	YES	YES N/A	1m	1m	NO	16.7			60.00%	NO	60.34	40% 44.37%	NO	54.40 40%				N/A 50			YES	YES N/A	A YES
121 142		3	1	1 0	1	4	2	0 0		1		60.34							YES N/A				18.3						40% 42.49%		58.70 40%				N/A 50				YES N/A	
122 150	0 D1.2	3	1	1 0	1	4	2	0 0	0 1	0	0	60.34	60.83 61.5	0	0	YES	N/A	YES	YES N/A	1m	1m	NO NO	12.25	4 77	75 609	51.83%	YES	60.34	40% 40.23%	NO	72.25 40%	6 48.2%	YES	N/A	N/A 50	% N/A	N/A	NO	YES N/A	YES

ENTIRE SITE			
Overall Site	35,434.78 m²		
Road reserve	9200.4 m²		
Subdivided area	18078 m²		
JOALs	1931.8 m²		
Public areas	452.98 m²		
Impervious (incl Road, footpaths, JOALs, hardscaping & buildings)	18401.3 m²		
Percentage	51.93%		
Landscaped area / Pervious (Public and private)	17,033.48 m ²		
Percentage	48.07%		

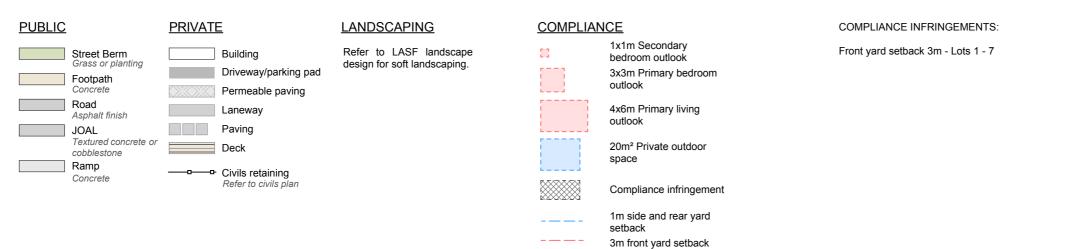
SUBDIVIDED AREA		
Total area of private lots	23850 m²	
Vacant Lots	5772 m²	
Developed Lots	18078 m²	
Building coverage	7146.51 m²	
Building coverage (Including vacant lots)	29.96%	
Building coverage (Excluding vacant lots)	39.53%	
Private landscaped (developed lots only)	8659.61 m ²	
Percentage	47.90%	40% Min Required
Private impervious (Building and Hardscaping, developed lots only)	1917.69 m²	
Descentage	EO 149/	609/ May allowed

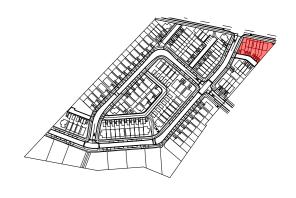
Compliance Schedule - Lots 62 to Rev Date 9/03/2022

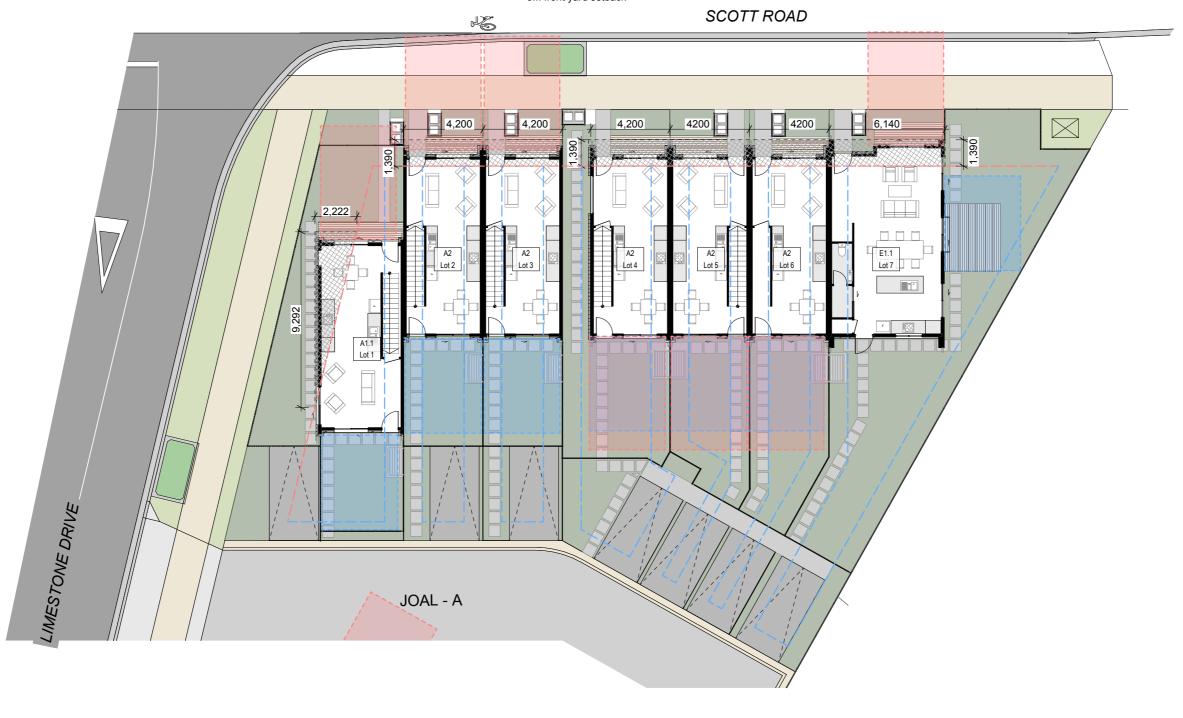
122 Job No.

5864

Sheet No.









Ground Floor - Lot 1 - 7

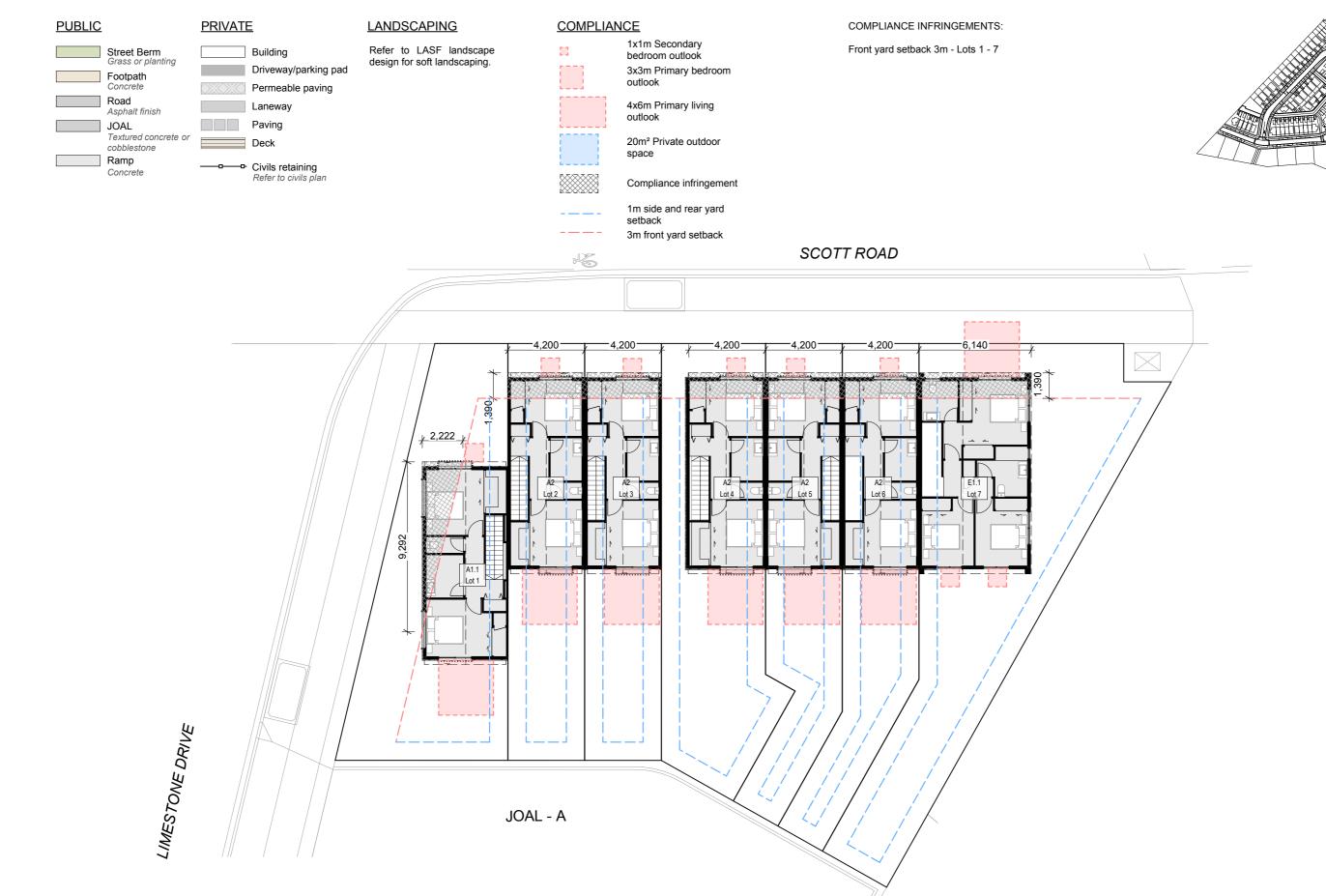
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Rev Date 9/03/2022 Sheet No.

5864 Rev.

В







Upper Floor - Lot 1 - 7

Rev Date 9/03/2022 5864

Sheet No. Rev. Scale @A3: 1:200 A008 В



PUBLIC PRIVATE Street Berm Grass or planting Building Driveway/parking pad Footpath Permeable paving Road Laneway Asphalt finish JOAL Paving Textured concrete or Deck cobblestone Ramp - Civils retaining

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

COMPLIANCE

1x1m Secondary bedroom outlook

3x3m Primary bedroom outlook

4x6m Primary living outlook

20m² Private outdoor space

4x6m Primary living outlook

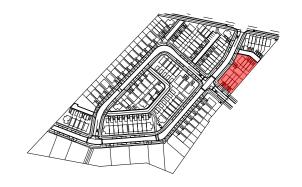
20m² Private outdoor space

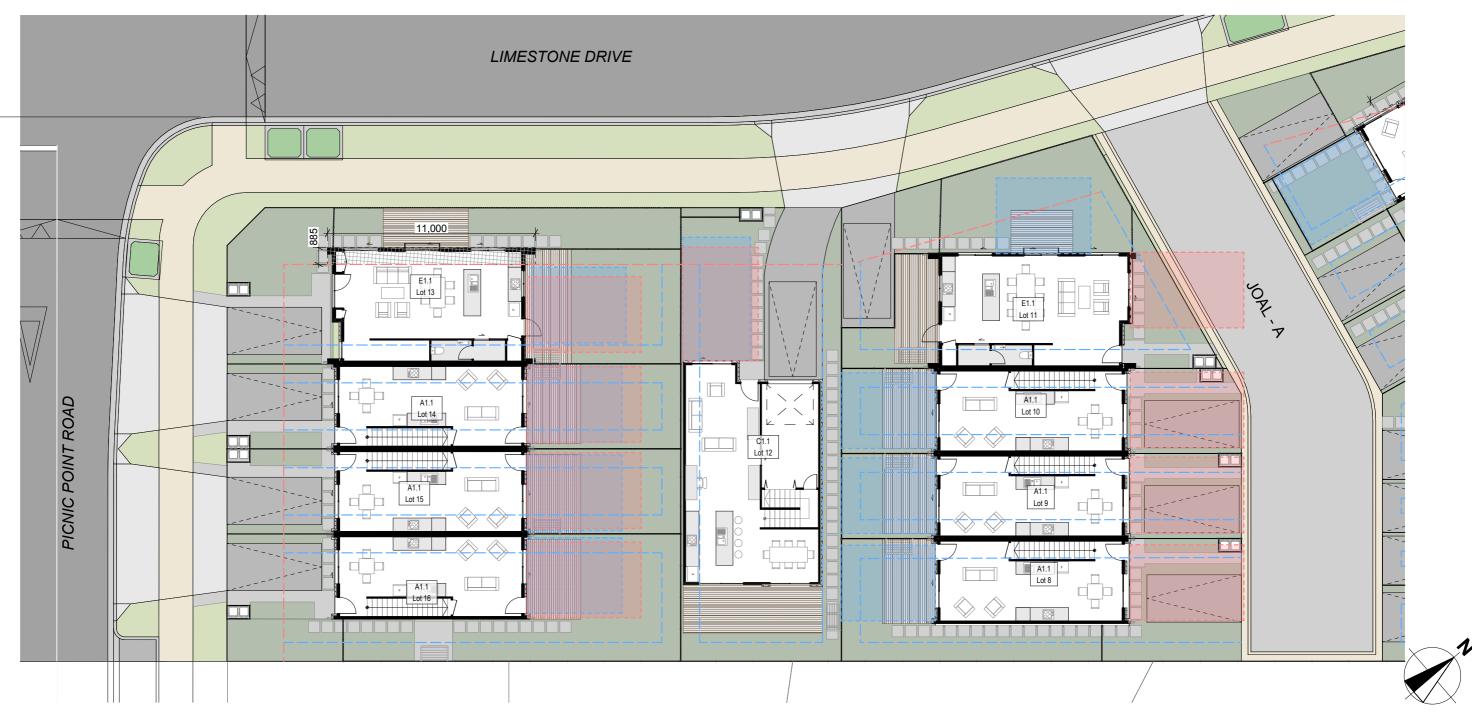
Compliance infringement

1m side and rear yard setback
3m front yard setback

COMPLIANCE INFRINGEMENTS:

Front yard setback 3m - Lot 13





Ground Floor - Lot 8 - 16

 Rev Date
 9/03/2022

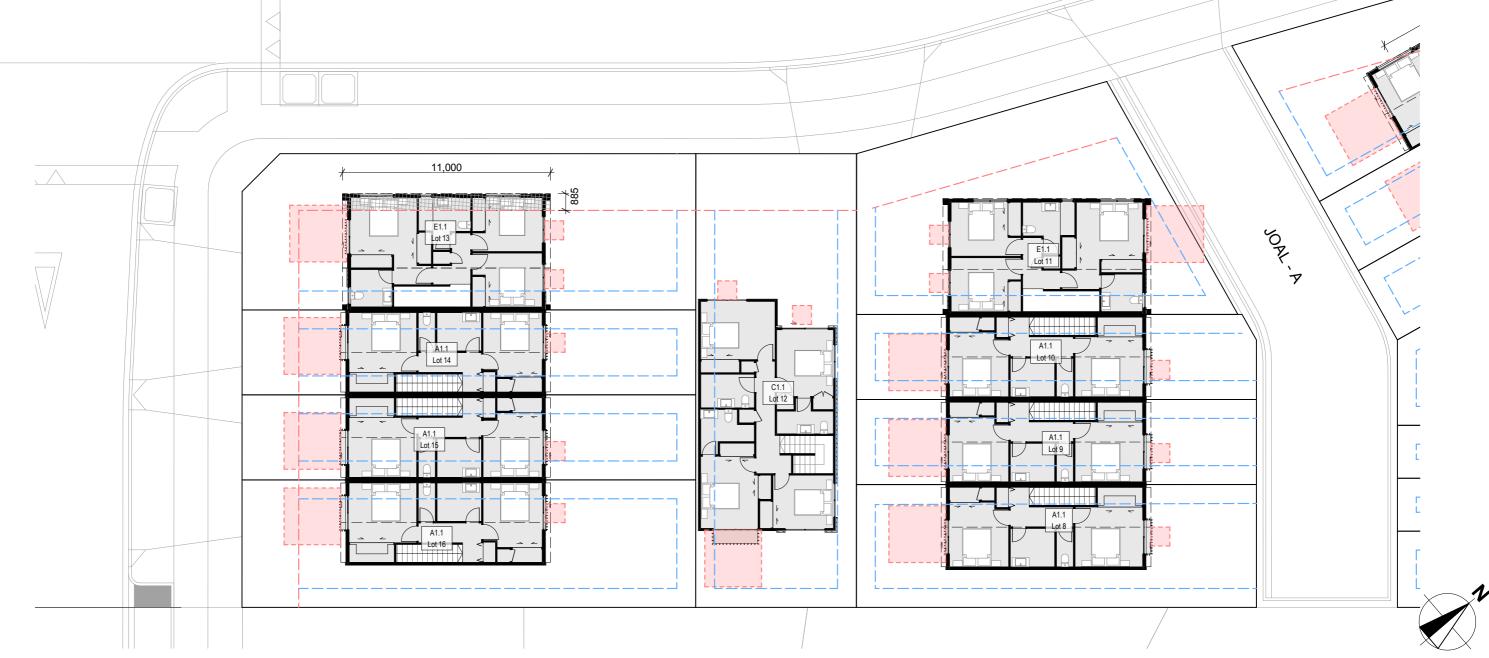
 Job No.
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 Rev.

Sheet No. Rev







Upper Floor - Lot 8 -16

 Rev Date
 9/03/2022

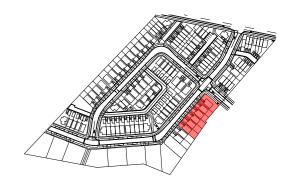
 Job No.
 5864

 Sheet No.
 Rev.

Sheet No. Rev.

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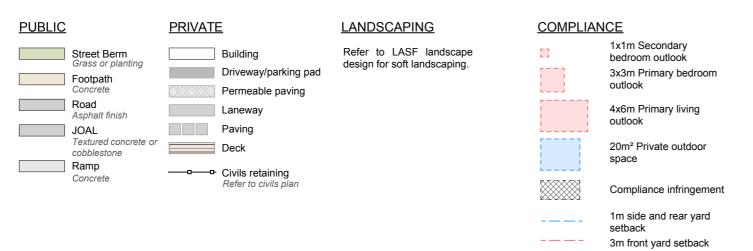


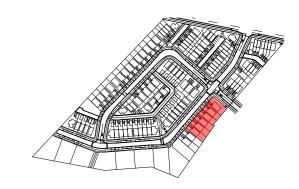
Ground Floor - Lot 17 - 22

Rev Date 9/03/2022 Sheet No.

5864 Rev. walker

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Upper Floor - Lot 17 - 22

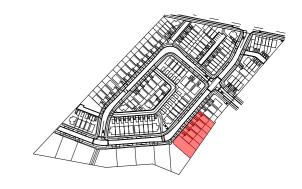
Rev Date 9/03/2022

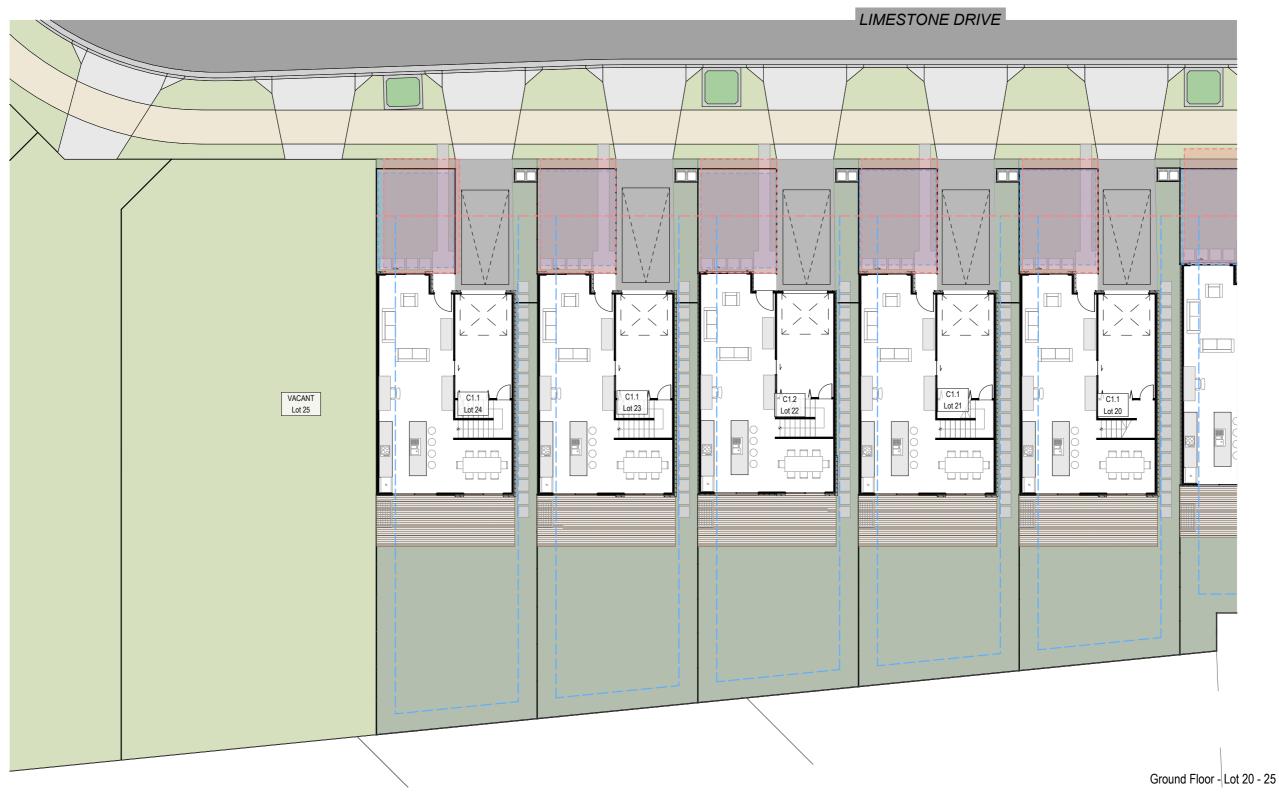
Job No. 5864

Sheet No. Rev.

t No. Rev.







3m front yard setback

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Auckland 1402 New Zealand
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Northwest Developments Limited

18 Scott Road

Scale @A3: 1:200 **A013**

Sheet No. Rev.

A013 B Walker

5864

Rev Date 9/03/2022



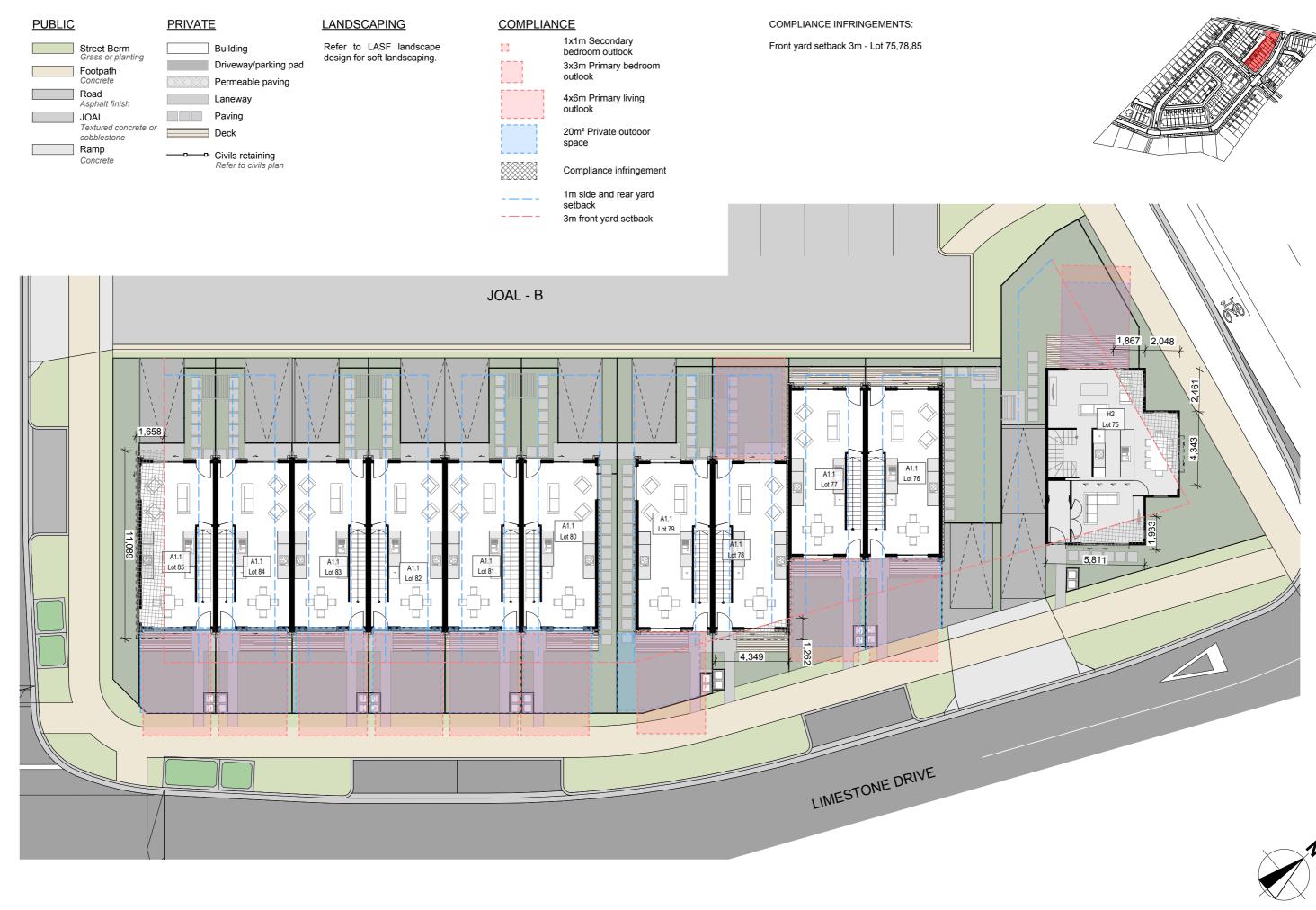


Northwest Developments Limited

18 Scott Road

Scale @A3: 1:200 **A014**

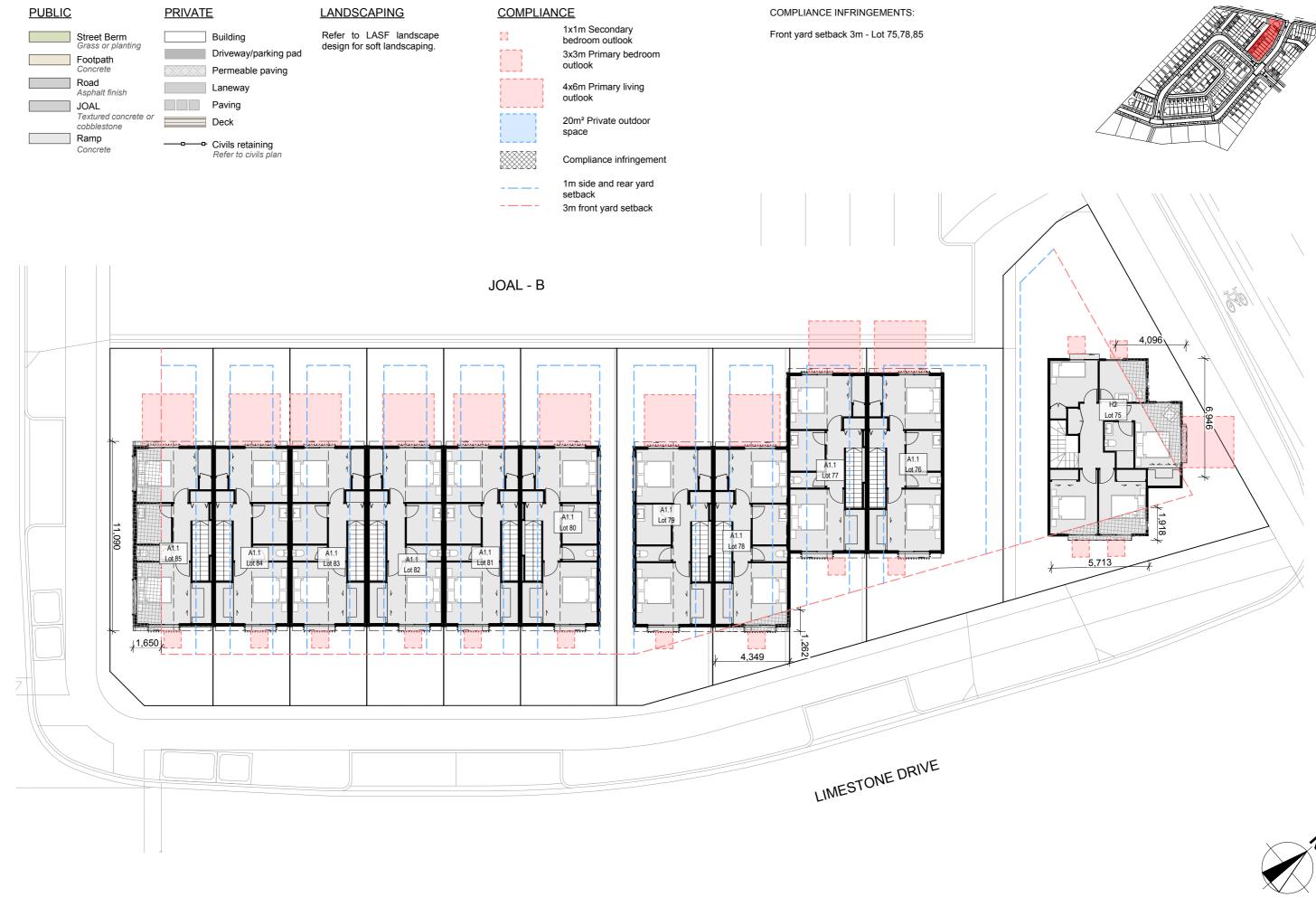
5864 Sheet No. Rev. walker В



Ground Floor - Lot 75 - 85

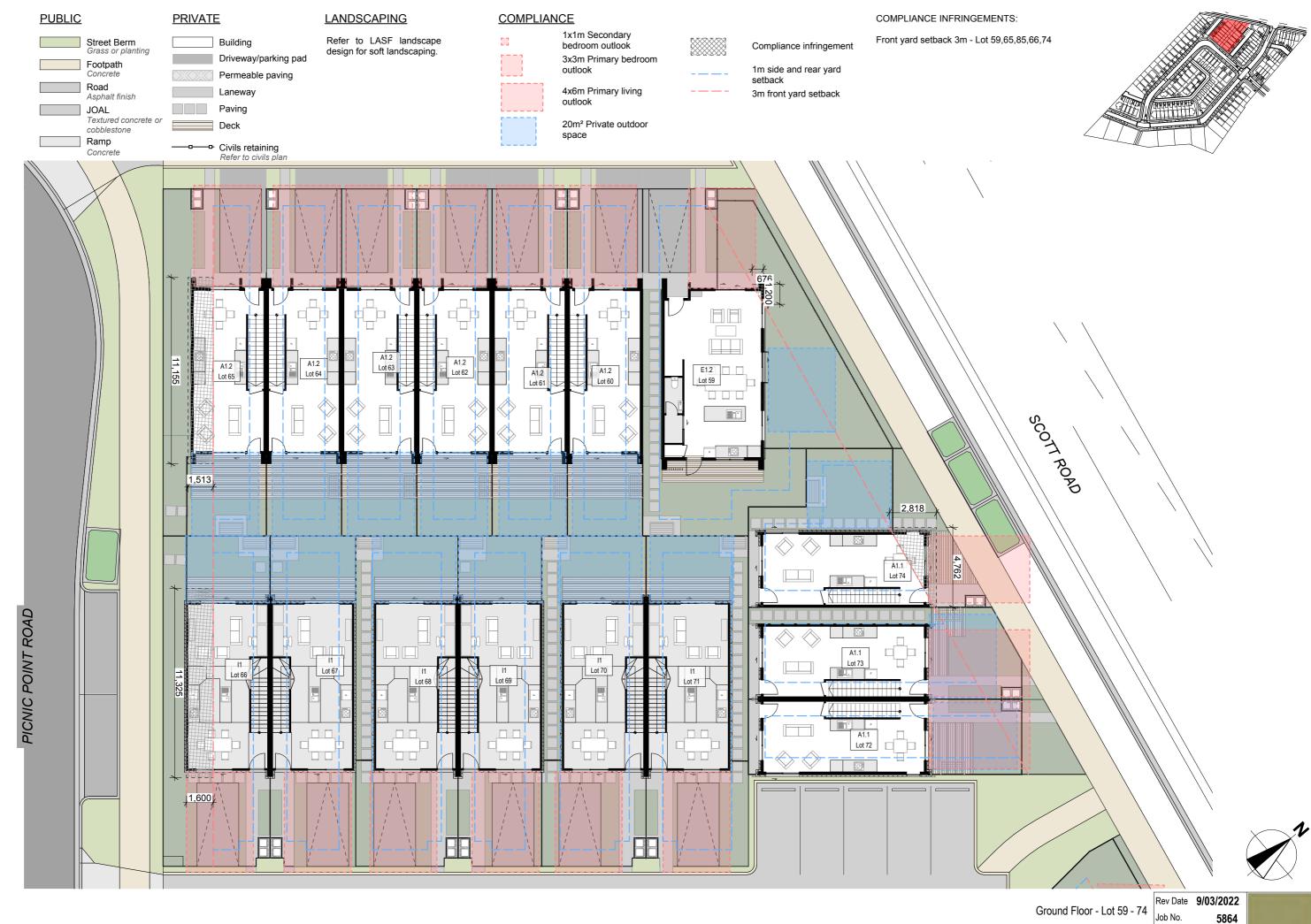
Rev Date 9/03/2022 Sheet No. Rev.

5864 walker В



Rev Date 9/03/2022 5864 Rev.

walker



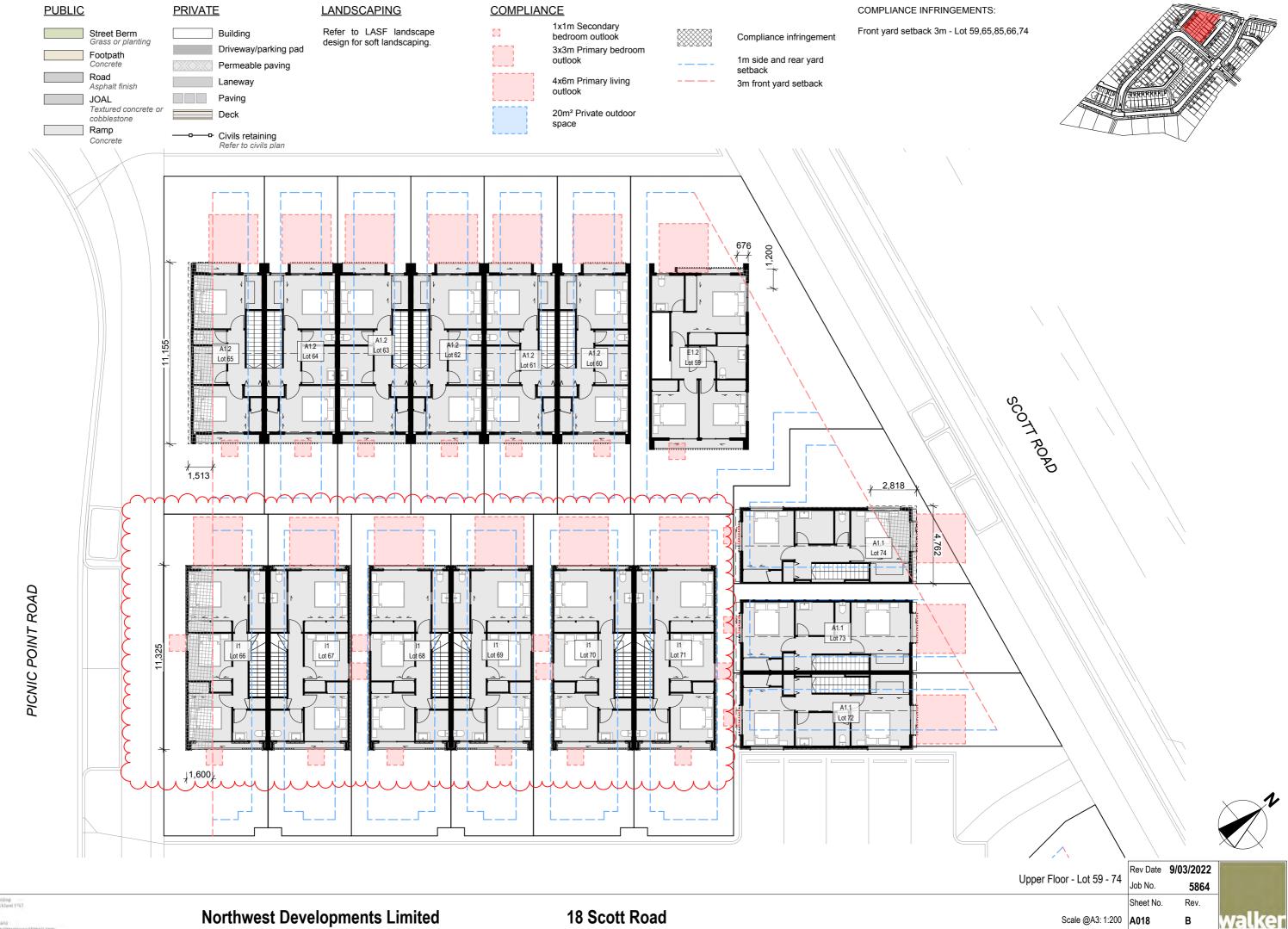
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18 Scott Road

Scale @A3: 1:200 A017



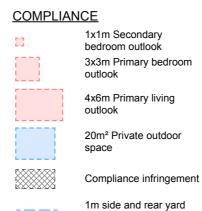


PUBLIC PRIVATE Street Berm Grass or planting Building Driveway/parking pad Footpath Concrete Permeable paving Road Laneway Asphalt finish JOAL Paving Textured concrete or cobblestone Ramp - Civils retaining

LANDSCAPING

Refer to LASF landscape

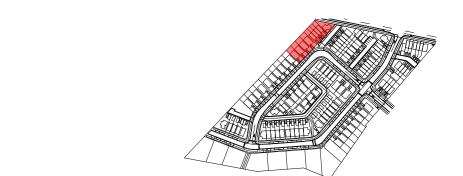
design for soft landscaping.



3m front yard setback

COMPLIANCE INFRINGEMENTS:

Front yard setback 3m - Lot 58







Ground Floor - Lot 49 - 58

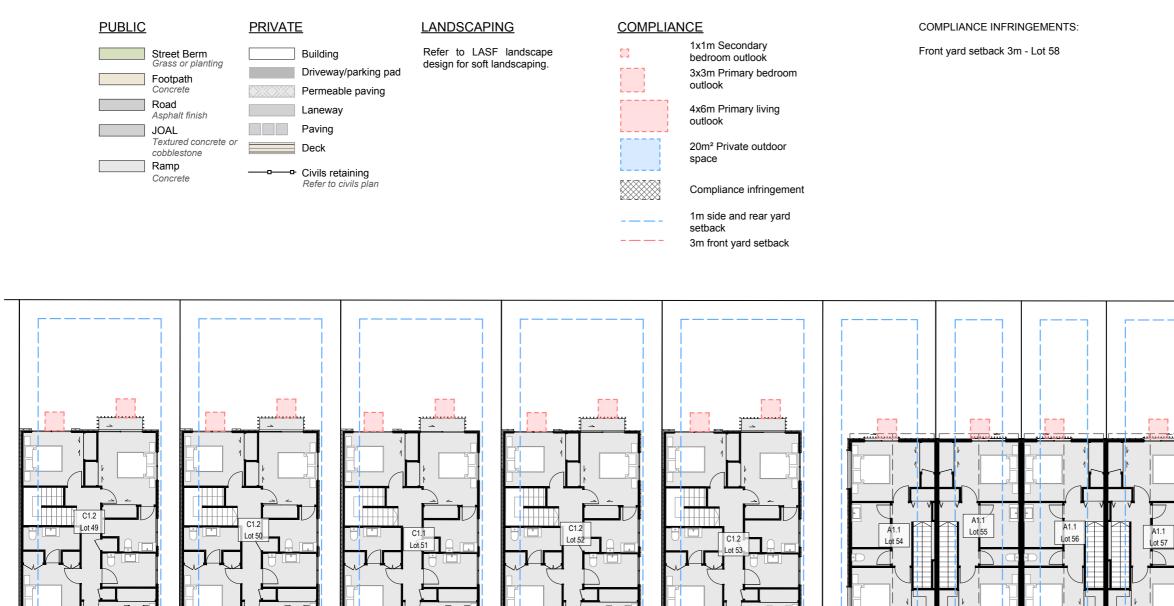
 Rev Date
 9/03/2022

 Job No.
 5864

 Sheet No.
 Rev.

Sheet No. Rev.
Scale @A3: 1:200 A019 B





walker

JOAL - C

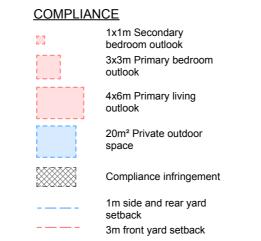
Sheet No. Rev.

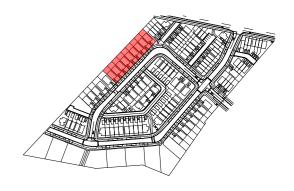
Rev Date 9/03/2022 5864

PICNIC POINT ROAD

Northwest Developments Limited

PUBLIC PRIVATE LANDSCAPING Street Berm Grass or planting Refer to LASF landscape Building design for soft landscaping. Driveway/parking pad Footpath Concrete Permeable paving Road Laneway Asphalt finish JOAL Paving Textured concrete or Deck cobblestone Ramp - Civils retaining Concrete Refer to civils plan







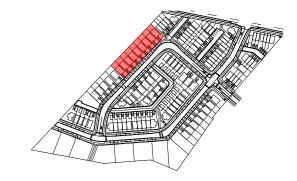


Ground Floor - Lot 45 - 53

Rev Date 9/03/2022

5864 Sheet No. Rev.









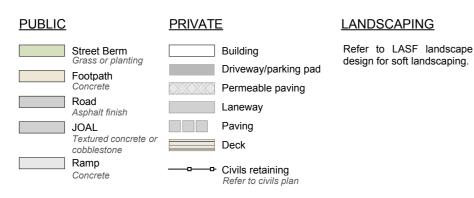
3m front yard setback

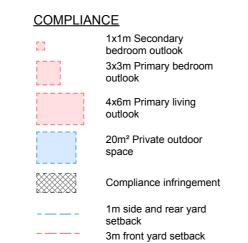
Upper Floor - Lot 45 - 53

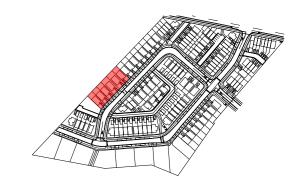
Rev Date 9/03/2022
Job No. 5864

Sheet No. Rev.













Ground Floor - Lot 40 - 46

 Rev Date
 9/03/2022

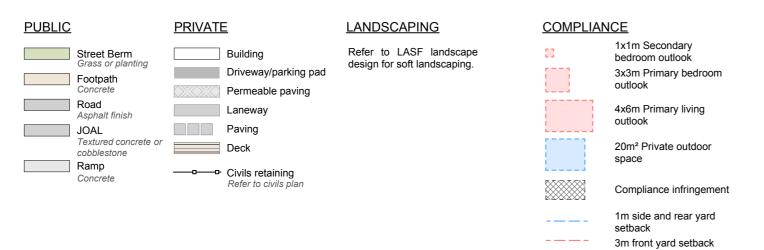
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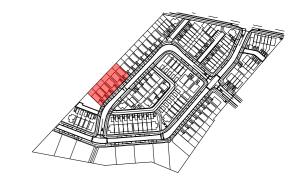
 Sheet No.
 Rev.

Sheet No. Re A023 B



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100 Fainstrove Storet, Auskland 141
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Victoria Streat Wase
Auskland 142 New Zealand
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Upper Floor - Lot 40 - 46

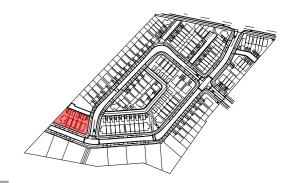
 Rev Date
 9/03/2022

 Job No.
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 Sheet No.
 Rev.

5864
No. Rev.
B Walk

<u>PUBLIC</u> **LANDSCAPING COMPLIANCE PRIVATE** 1x1m Secondary Street Berm Grass or planting Refer to LASF landscape Building bedroom outlook Compliance infringement design for soft landscaping. Driveway/parking pad 3x3m Primary bedroom Footpath Concrete 1m side and rear yard outlook Permeable paving Road 4x6m Primary living Laneway 3m front yard setback Asphalt finish outlook JOAL Paving Textured concrete or 20m² Private outdoor Deck cobblestone space Ramp







Ground Floor - Lot 34 - 38

Rev Date 9/03/2022

Job No. 5864

Sheet No. Rev.

et No. Rev. 25 B Walker







Upper Floor - Lot 34 - 38

Rev Date 9/03/2022

Sheet No.



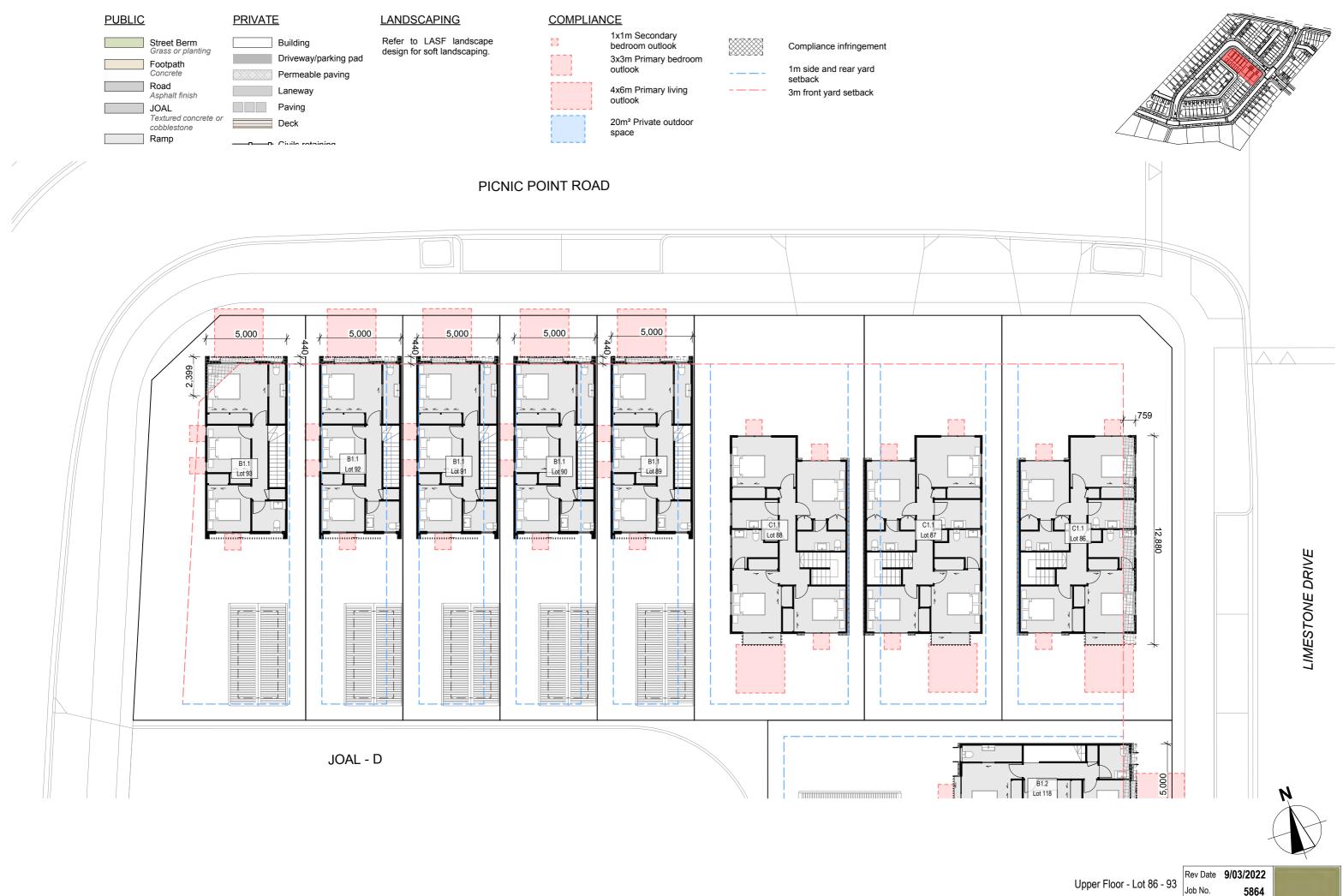
В



Ground Floor - Lot 86 - 93

Rev Date 9/03/2022 Sheet No.

5864 walker



Scale @A3: 1:200 **A028**

Sheet No.

<u>PUBLIC</u> **PRIVATE** Street Berm Grass or planting Building Driveway/parking pad Footpath Concrete Permeable paving Road Laneway Asphalt finish JOAL Paving Textured concrete or Deck cobblestone Ramp - Civils retaining Concrete

Refer to civils plan

LANDSCAPING Refer to LASF landscape design for soft landscaping.



outlook

space

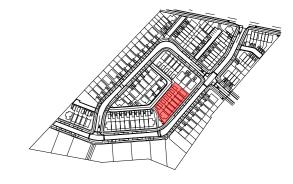
4x6m Primary living

20m² Private outdoor



Compliance infringement

1m side and rear yard 3m front yard setback





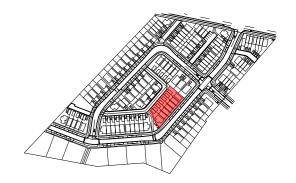


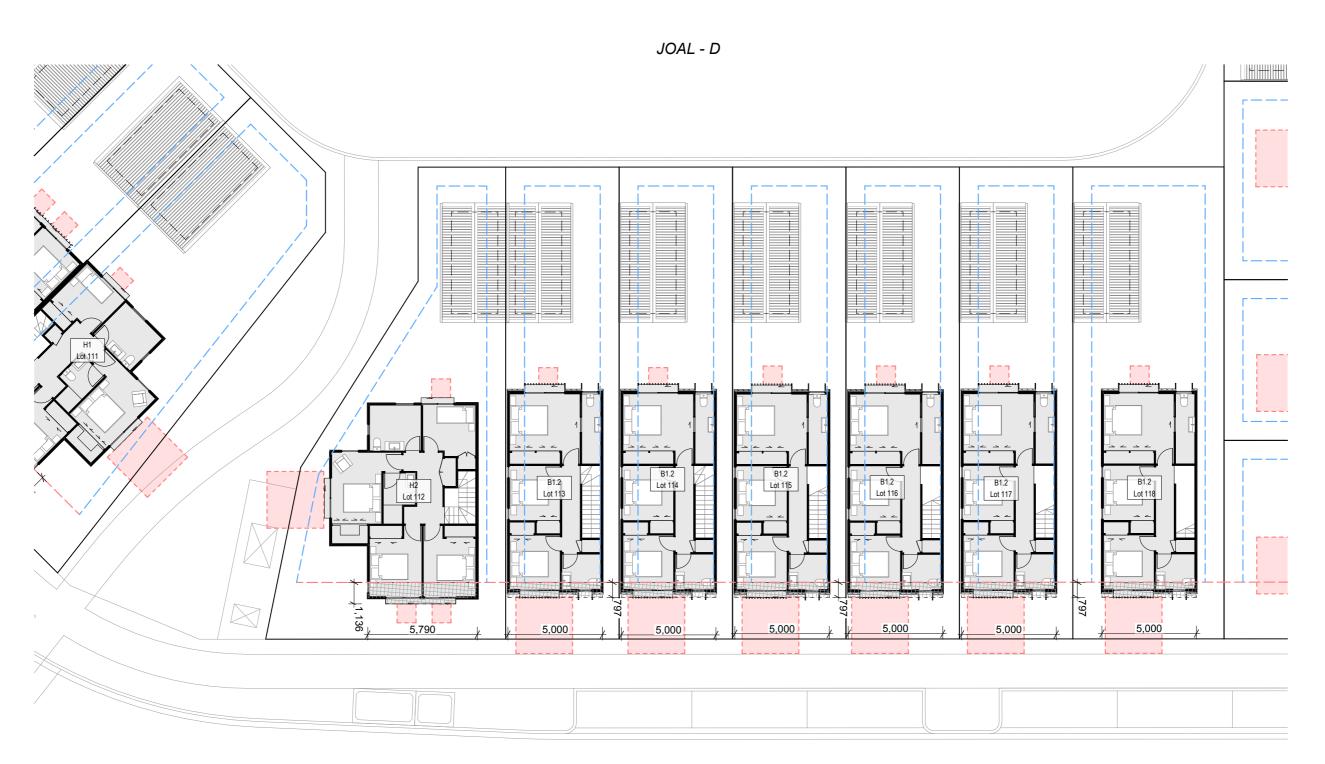
Ground Floor - Lot 112 - 118

Rev Date 9/03/2022 5864 Sheet No.

Rev. walker







LIMESTONE DRIVE

Rev Date 9/03/2022 Upper Floor - Lot 112 - 118 Sheet No.

5864 Rev. walker В

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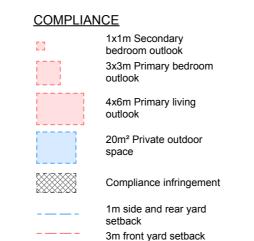
Auckland Council | Approved Resource Consent Plan | BUN60393007 | 08/09/2022 | Page 31 of 119

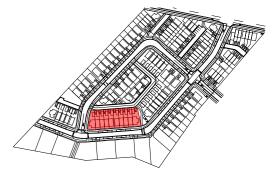
PUBLIC PRIVATE Street Berm Grass or planting Building Driveway/parking pad Footpath Concrete Permeable paving Road Laneway Asphalt finish JOAL Paving Textured concrete or Deck cobblestone Ramp - Civils retaining Concrete Refer to civils plan

LANDSCAPING

Refer to LASF landscape

design for soft landscaping.







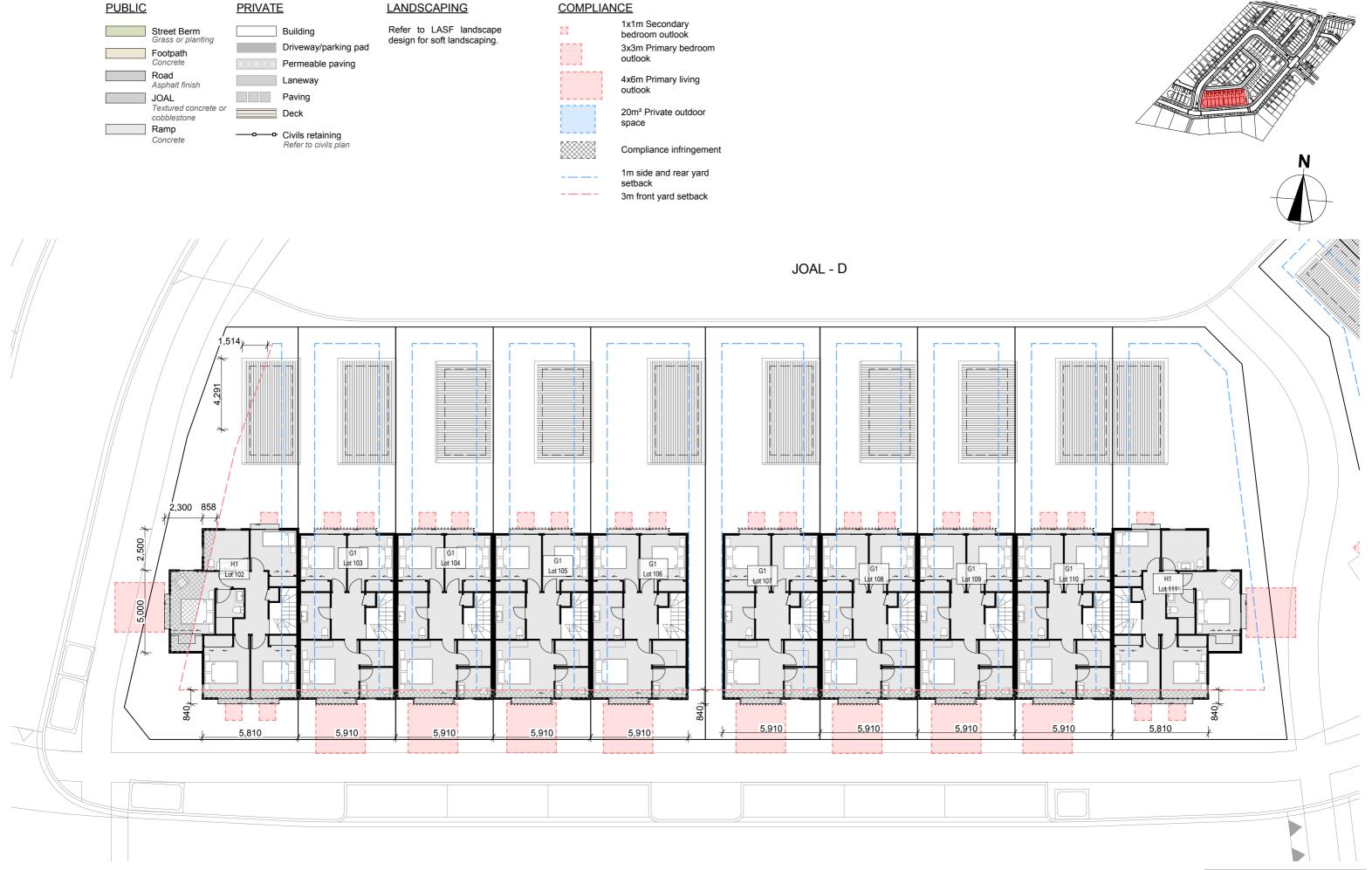


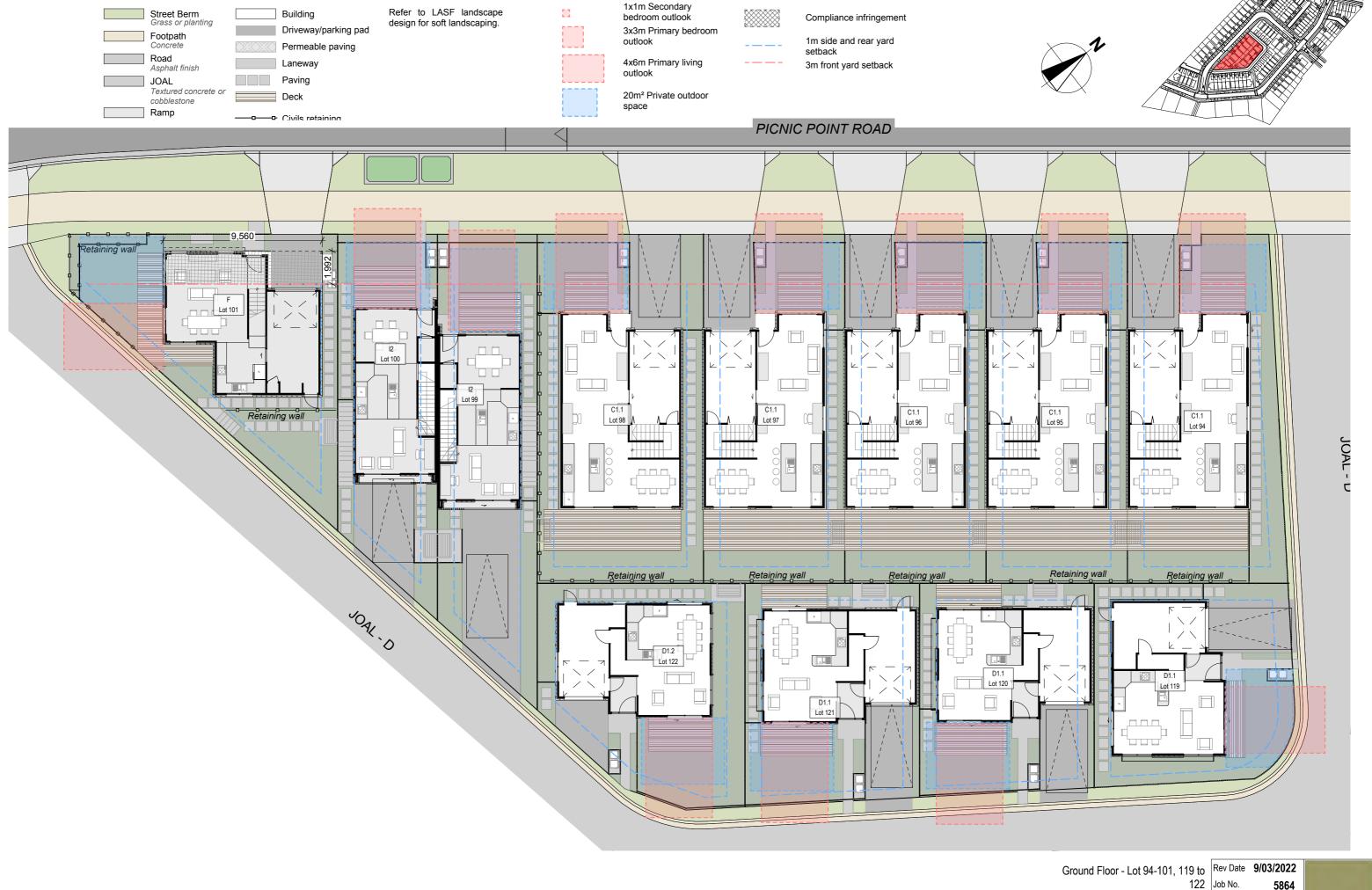
Ground Floor - Lot 102 - 111

Rev Date 9/03/2022 Rev.

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PUBLIC

PRIVATE

LANDSCAPING

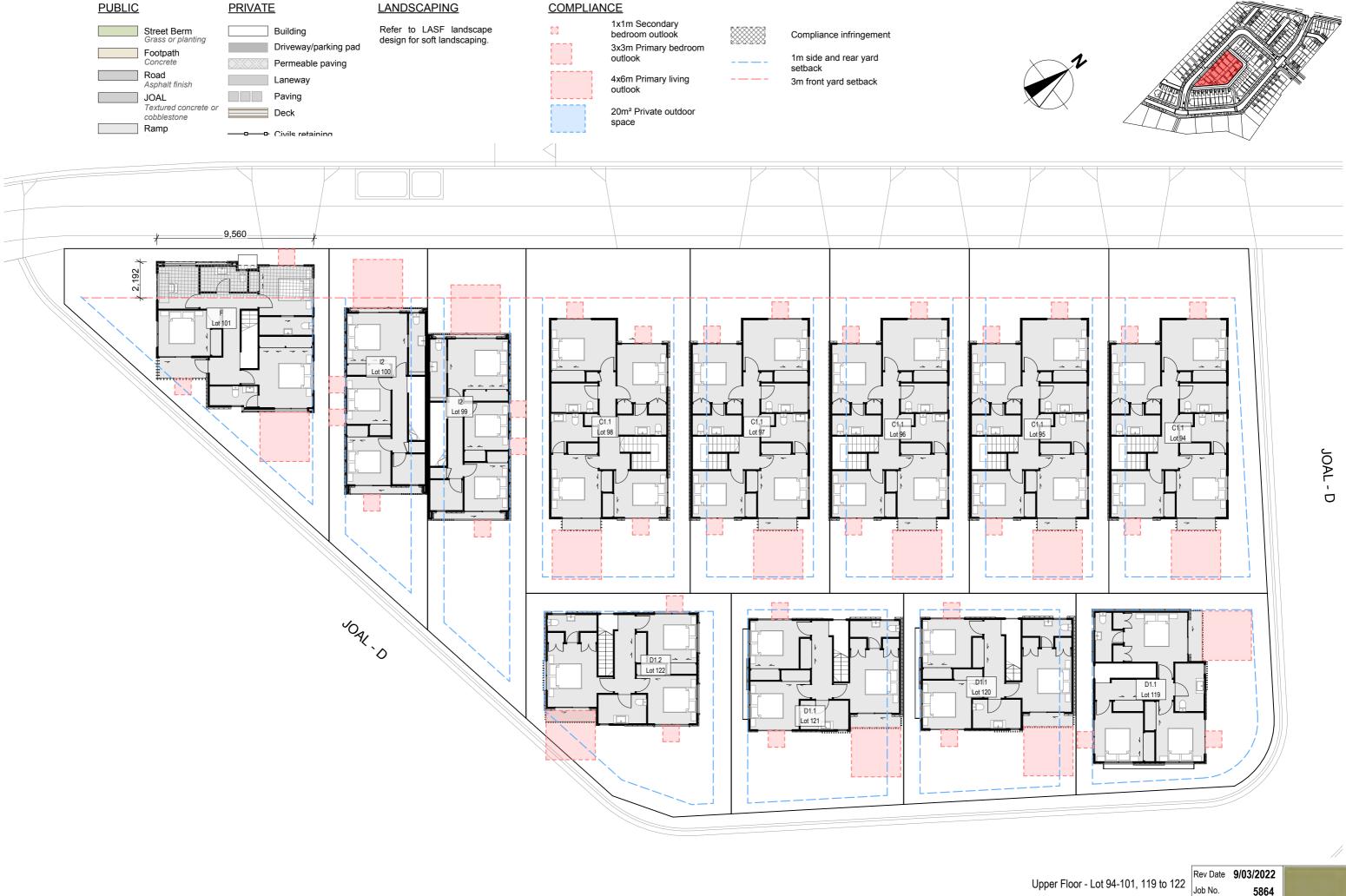
COMPLIANCE

Northwest Developments Limited

18 Scott Road

Scale @A3: 1:200 **A033**





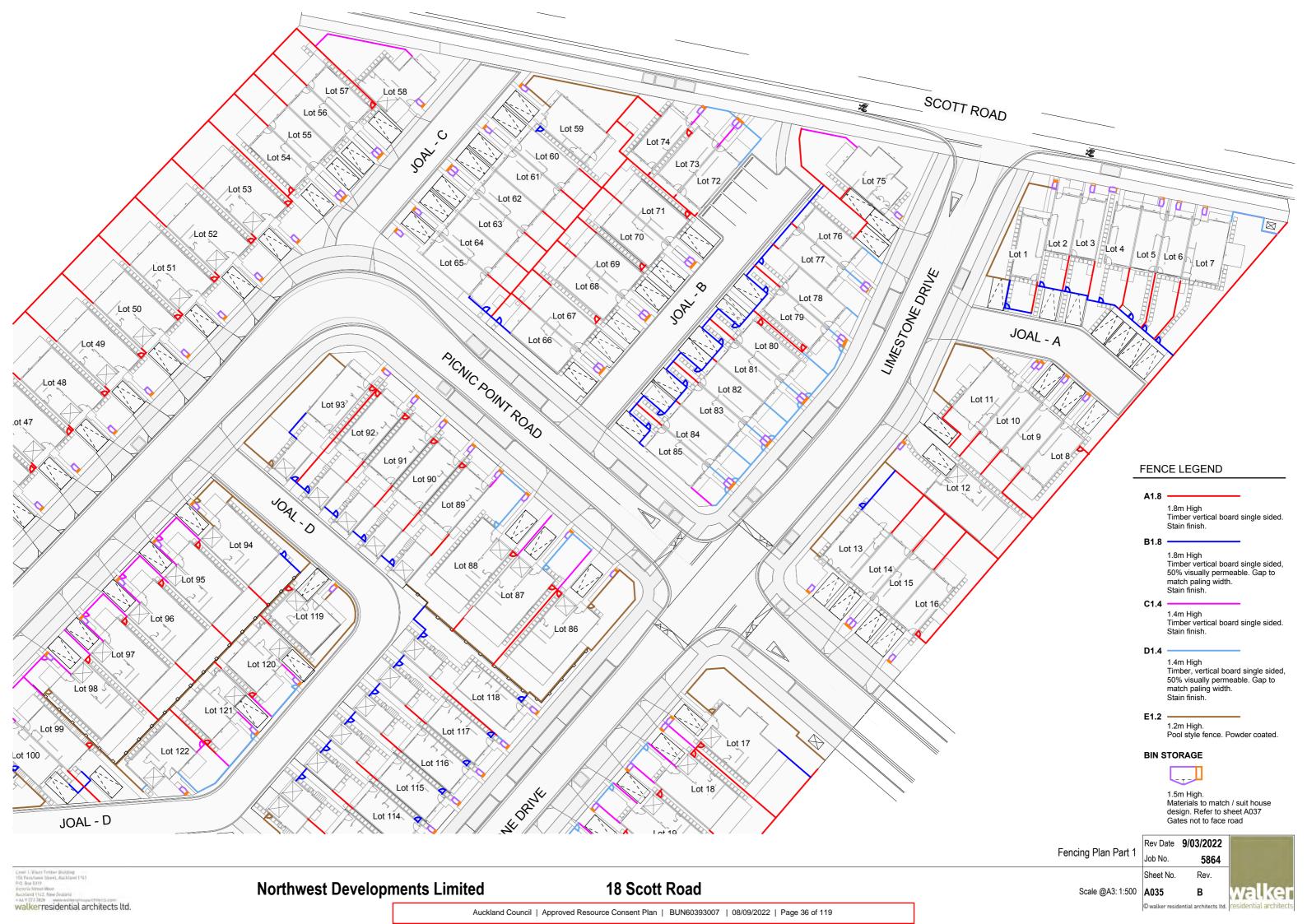
Auckland Council | Approved Resource Consent Plan | BUN60393007 | 08/09/2022 | Page 35 of 119

Northwest Developments Limited 18 Scott Road

Scale @A3: 1:200 **A034**

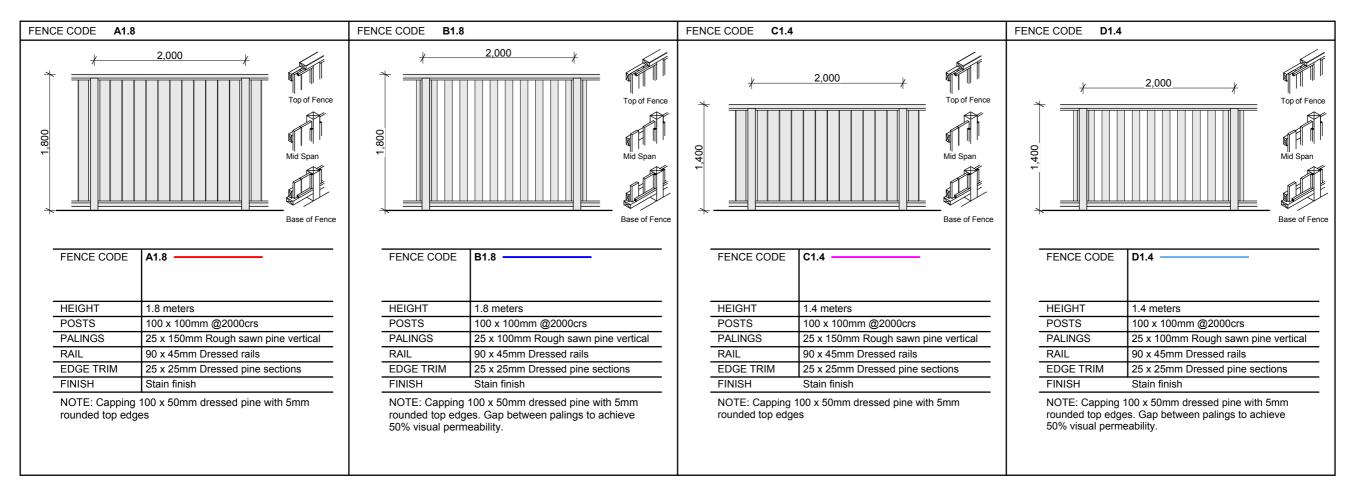
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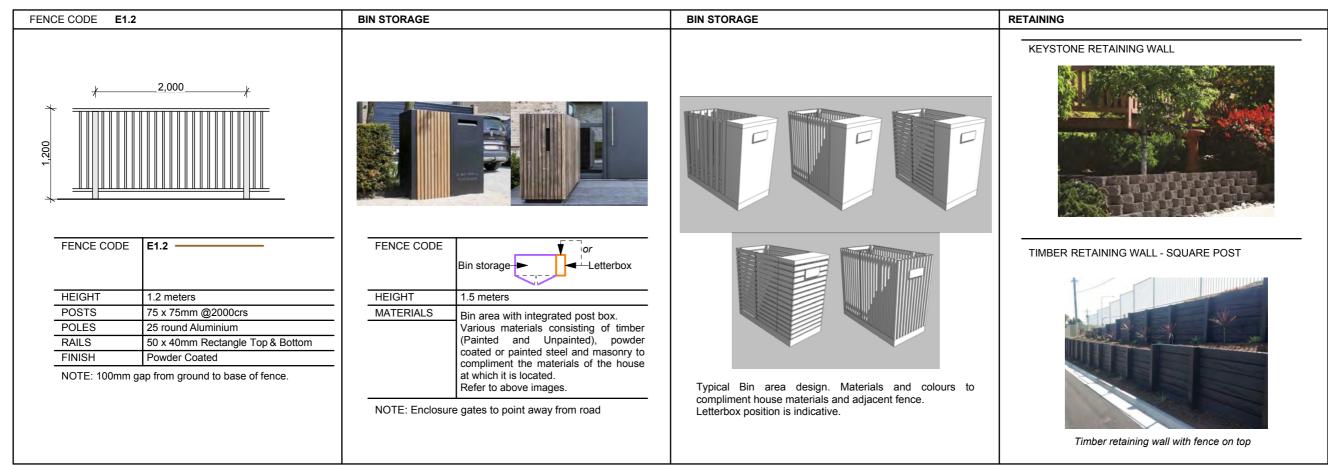






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Fencing Type

Rev Date 9/03/2022
Job No. 5864
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t No. Rev.

DRIVEWAY AND FOOTPATH





Typical vehicle crossing driveway and footpath

DRIVEWAY AND FOOTPATH





Typical vehicle crossing driveway and footpath

PAVERS



Pavers in narrow spaces



Pavers in grassed areas

TYPICAL DECKED AREAS





Typical deck areas

FRONT YARD RETAINING



Front yard retaining. Block wall with timber fence or pool type fence on top.



Landscaped front yard retaining and concrete steps

FRONT YARD



Planting in front yard and between units. Concrete steps up to units

Fencing Type

Rev Date 25/07/2022

Sun Study for lots where the Alternative Height to Boundary rule is applied







Sept 22 - 14:00pm



Sept 22 - 10:00am



Sept 22 - 16:00pm



Sept 22 - 12:00pm

Sun Study - Eastern Bdy

Rev Date 9/03/2022

5864 A038





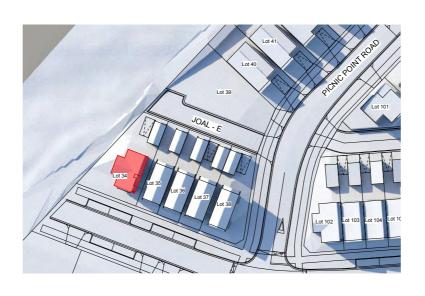


Sept 22 - 8:00am

Sept 22 - 10:00am

Sept 22 - 12:00pm





Sept 22 - 14:00pm

Sept 22 - 16:00pm 5

Outdoor living court sun study: Lots 2-6, 12







Sept 22 - 12:00pm



Sept 22 - 02:00pm



Sept 22 - 04:00pm

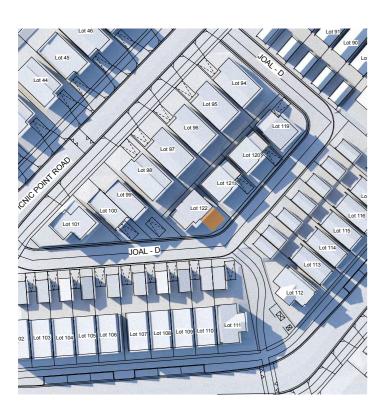
Sun Study - Outdoor Living

5864

Rev Date 25/07/2022







Sept 22 - 04:00pm



Sept 22 - 12:00pm

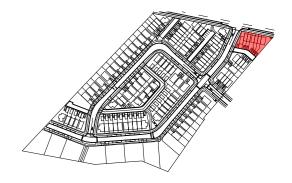


Sept 22 - 02:00pm

Sun Study - Outdoor Living

Rev Date 25/07/2022



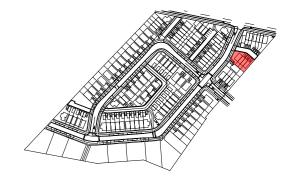




Scott RD Lots 1 - 7 1:100

Elevations Lot 1 - 7

Rev Date 9/03/2022 5864

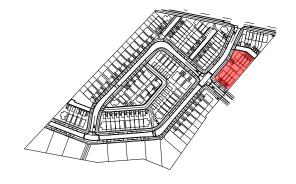




2 JOAL - A Lots 8 - 11 1:100

Elevations Lot 8 - 11

Northwest Developments Limited



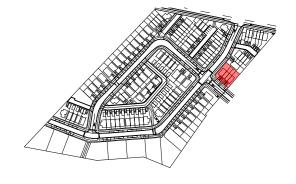


Limestone Drive Lots 11 - 13 1:200

> Rev Date 9/03/2022 Elevations Lot 11 -13

5864

Northwest Developments Limited



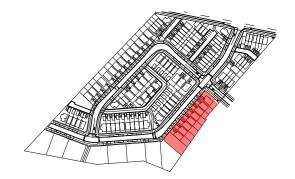


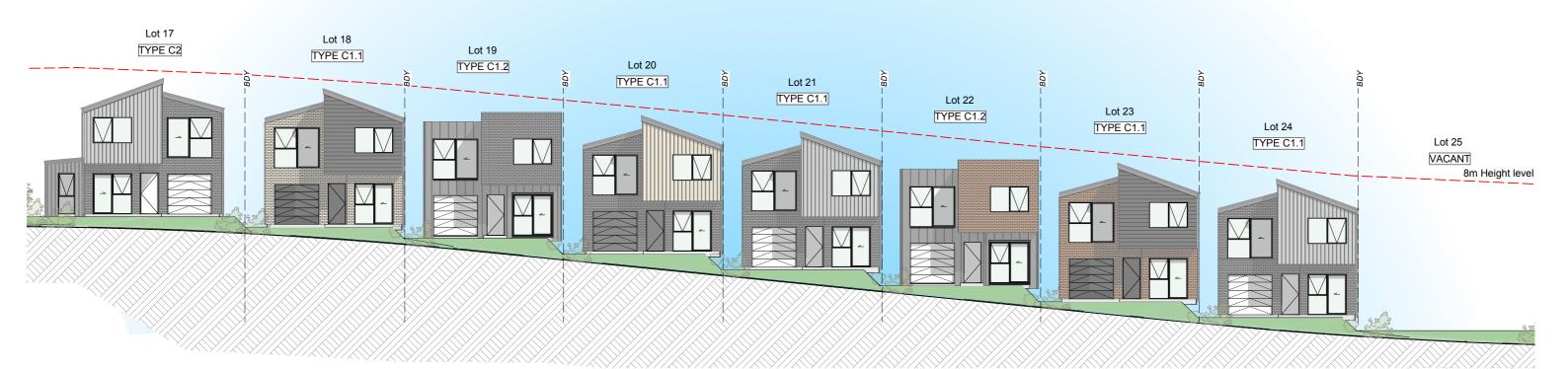
2 Picnic Point Rd Lots 13 - 16 1:100

Elevations Lots 13 - 16

6 Rev Date 9/03/2022
Job No. 5864
Sheet No. Rev.

et No. Rev 1**4 B**





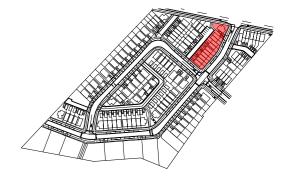
2 Limestone Drive Lots 17 - 25 1:200

Elevations Lots 17 - 25

 Rev Date
 9/03/2022

 Job No.
 5864

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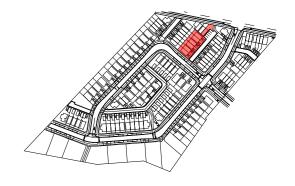
Limestone Drive Lots 75 - 85 1:200

Elevations Lot 75 - 85

Rev Date 9/03/2022

5864

Northwest Developments Limited

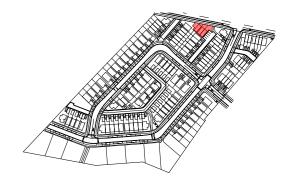




JOAL - B Lots 66 - 72 1:200 2

Elevations Lot 66 - 72

Rev Date 9/03/2022





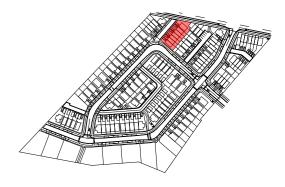
2 Scott Rd Lots 72 - 74 1:100

Elevations Lot 72 - 74

Rev Date 9/03/2022
Job No. 5864
Sheet No. Rev.

Sheet No. Rev.
Scale @A3:1:100 A308 B







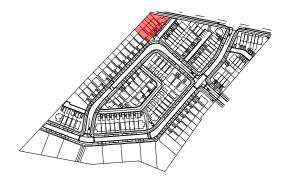
JOAL - C Lots 59 - 65 1:100

Elevations 59 - 65

Rev Date 9/03/2022

5864

Northwest Developments Limited





JOAL - C Lots 54 - 58 1:100

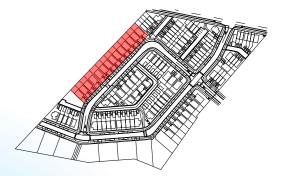
Elevations 54 - 65

Scale @A3: 1:100 **A310**

Rev Date 9/03/2022 5864



Northwest Developments Limited





Picnic Point Rd Lots 46 - 53 1:200 2



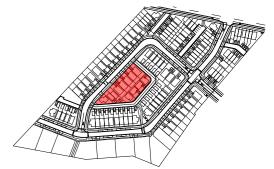
Picnic Point Rd Lots 40 - 45 1:200 3

Elevations Lot 40 - 53

Rev Date 9/03/2022

5864 Scale @A3: 1:200 **A311**







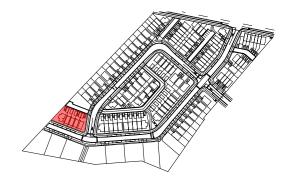
Picnic Point Rd Lots 94 - 101 1:200 2



JOAL - D Lots 119 - 122 1:200 3

Elevations Lots 94 - 101 & 119 - 122

Rev Date 9/03/2022 5864



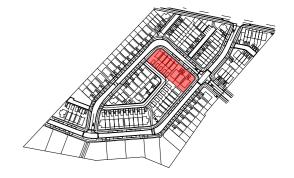


Limestone Drive Lots 34 - 38 1:100

Elevations Lot 34 - 38

Rev Date 9/03/2022 5864

Northwest Developments Limited

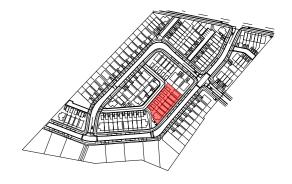




Picnic Point Rd Lots 86 - 93 1:200

Elevations Lots 86 - 93

Rev Date 9/03/2022



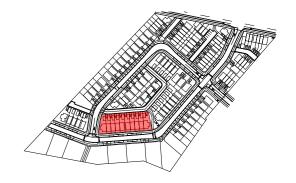


Limestone Drive Lots 112 - 118 1:200 2

Elevations Lot 112 - 118

Rev Date 9/03/2022

Northwest Developments Limited

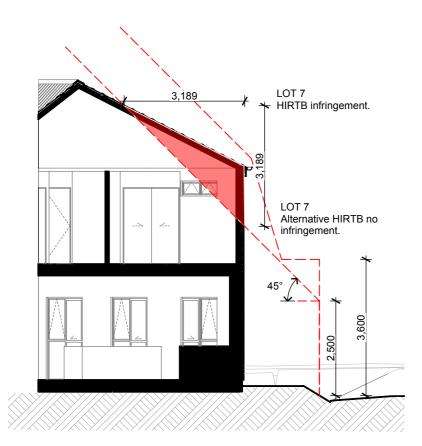




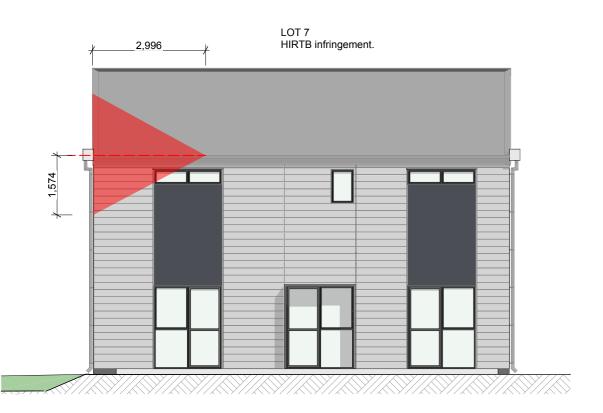
Limestone Drive Lots 102 - 106 1:200 3 Limestone Drive Lots 107 - 111 1:200

Elevations Lot 102 - 111

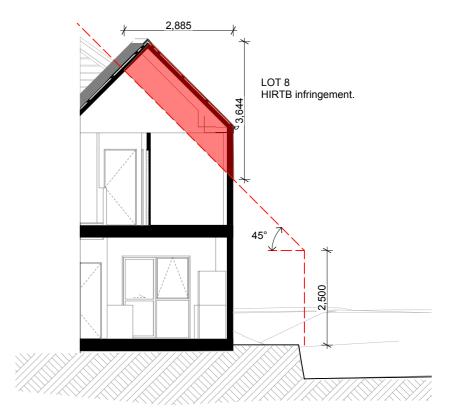
Rev Date 9/03/2022 Sheet No.



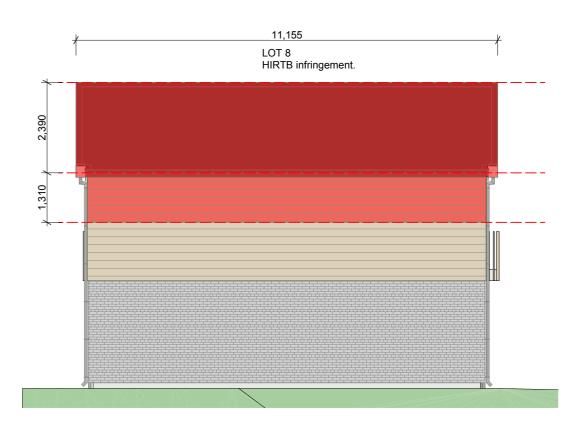
Section A East Boundary 1:100



Lot 7 - HIRTB infringement



Section B East Boundary 1:100

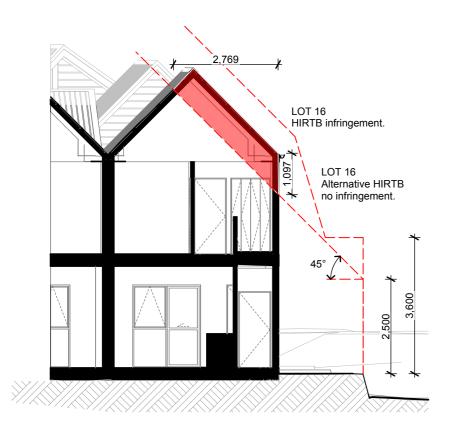


Lot 8 - HIRTB infringement

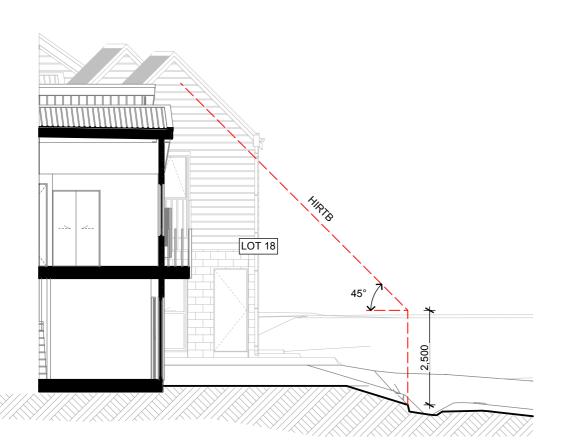
Site Section East Bdy 1

Rev Date 9/03/2022

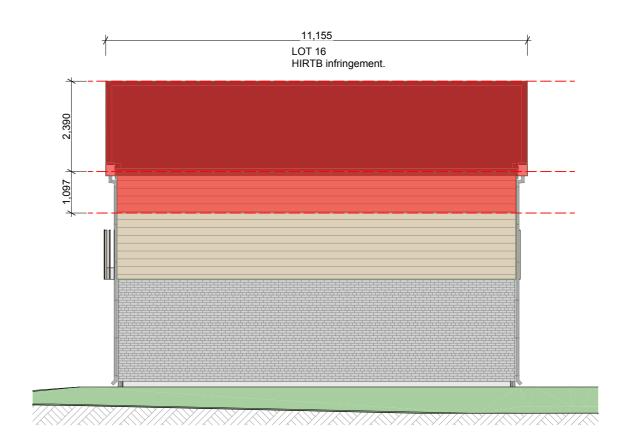
5864



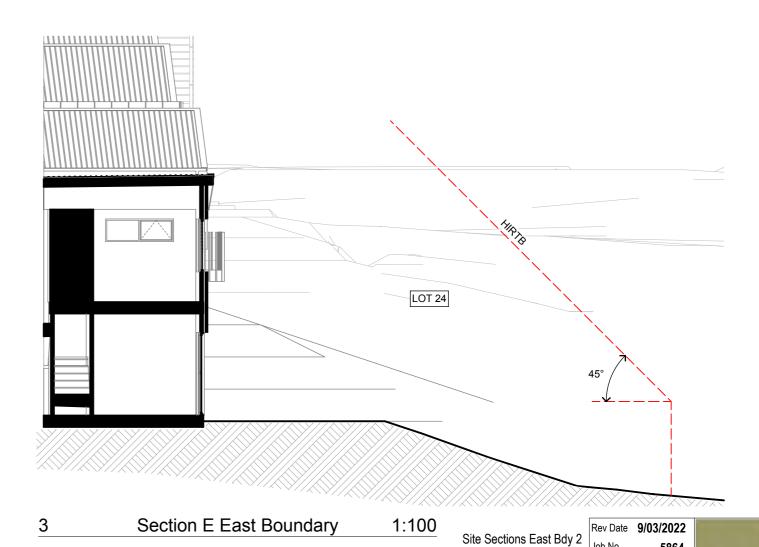


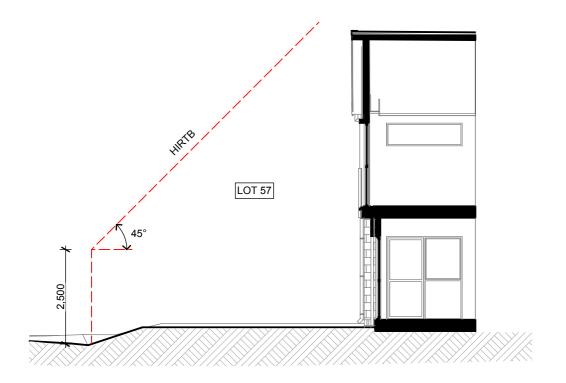


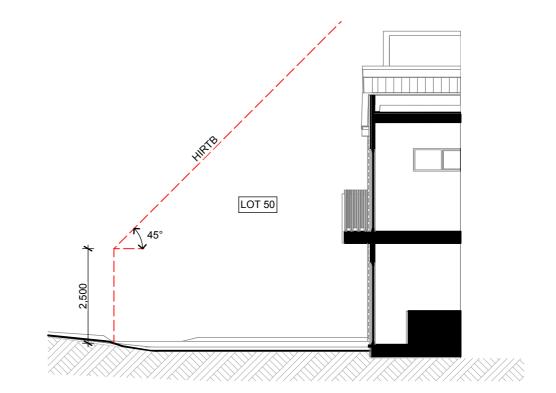
2 Section D East Boundary 1:100



Lot 16 - HIRTB infringement

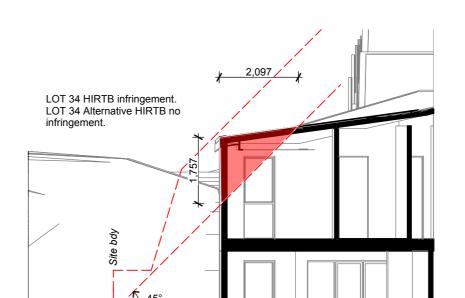


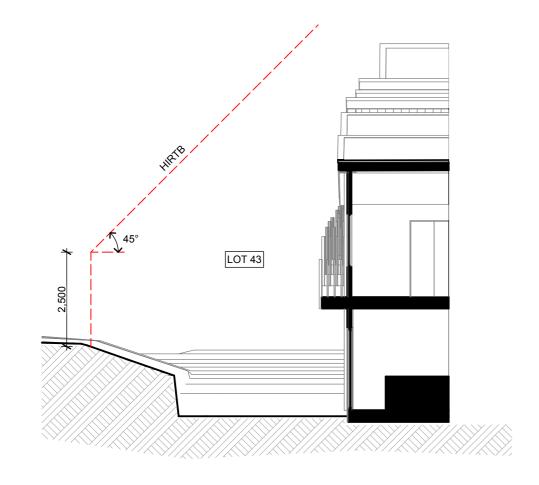




1 Section F West Boundary 1:100

2 Section G West Boundary 1:100





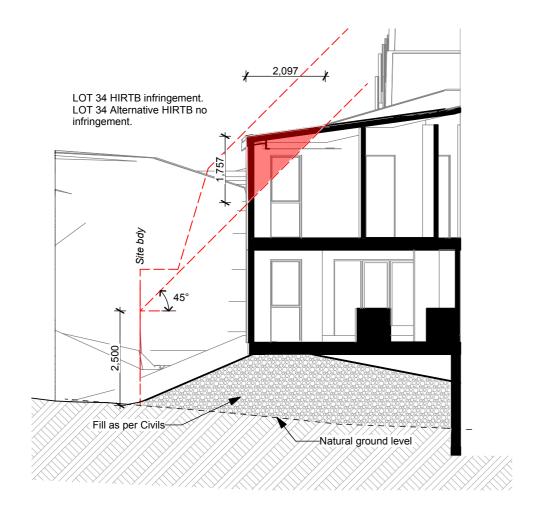
Section H West Boundary 1:100

Section I West Boundary 1:100

Natural ground level

Site Sections West Bdy 1

Rev Date 9/03/2022
Job No. 5864
Sheet No. Rev.
00 A403 B



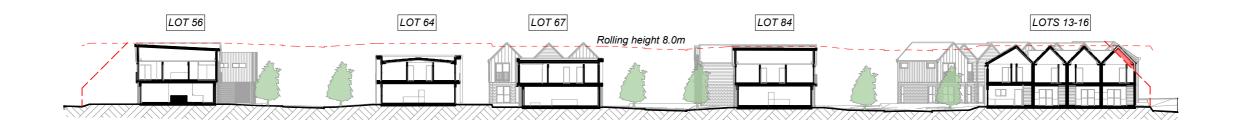
Section I West Boundary 1:100



Sept 22 - 8:00am

Site Sections West Bdy 2

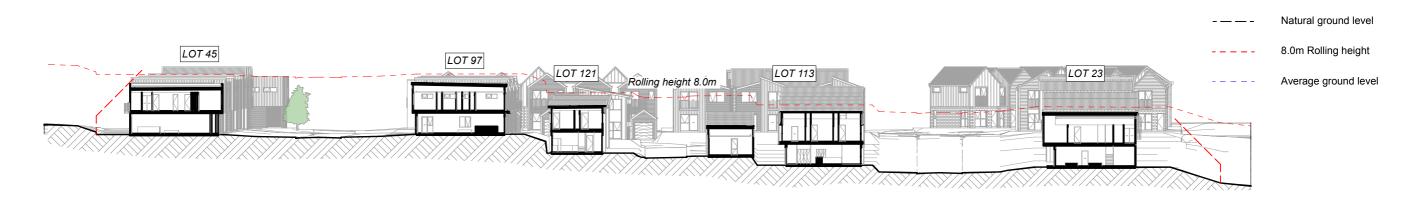
Scale @A3: 1:100 **A404**



OA SITE SECTION 1 1:500



OA SITE SECTION 2 1:500 2



OA SITE SECTION 3 1:500 3



OA SITE SECTION 4 1:750

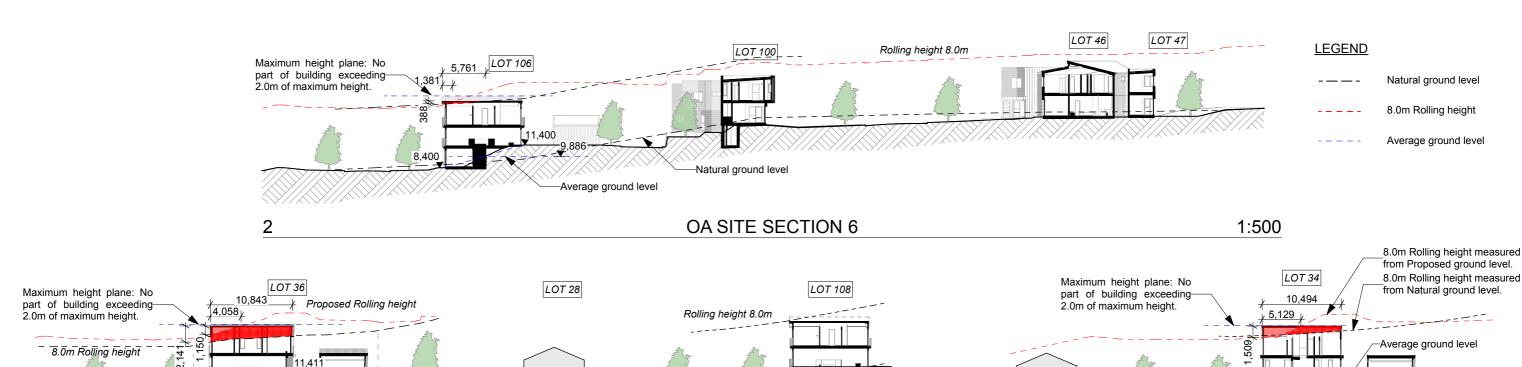
Site Sections OA1

Scale @A3: 1:500, 1:750 **A405**

LEGEND

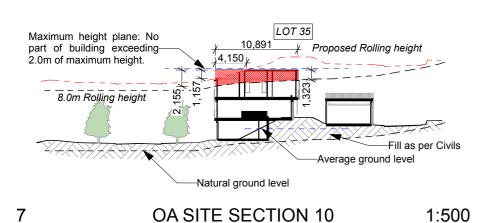


OA SITE SECTION 5 1:750

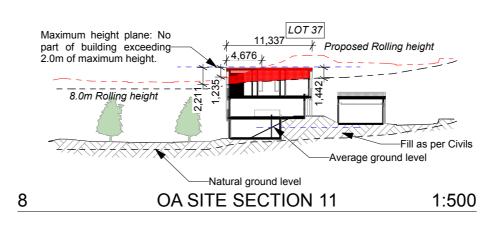


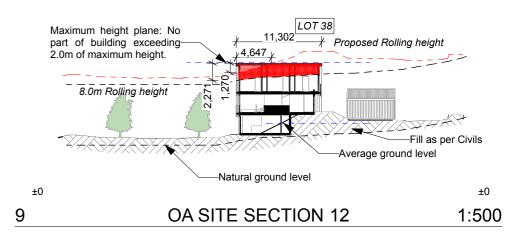
OA SITE SECTION 8 3 OA SITE SECTION 7 1:500 4 1:500 OA SITE SECTION 9 1:500

-Natural ground level



-Natural ground level





Worst Case

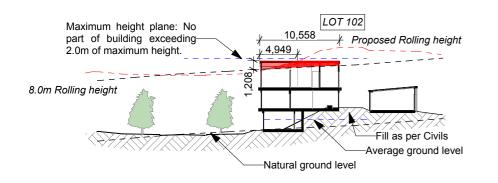
Fill as per Civils-

Rev Date 25/07/2022 5864 Scale @A3: 1:750, 1:500 **A406**

-Natural ground level

-Fill as per Civils

Average ground level



LOT 103 Maximum height plane: No 10,563 ____Proposed Rolling height part of building exceeding-2.0m of maximum height. 5,385 8.0m Rolling height Fill as per Civils Average ground level -Natural ground level

LOT 104 Maximum height plane: No part of building exceeding 10,605 Proposed Rolling height 2.0m of maximum height. 5,056 8.0m Rolling height Fill as per Civils Average ground level -Natural ground level <u>±0</u>

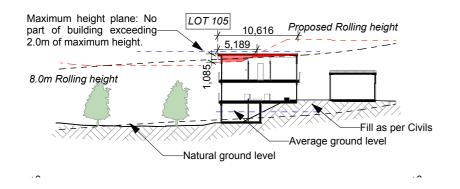
OA SITE SECTION 13 2

1:500

OA SITE SECTION 14 3

OA SITE SECTION 15

1:500



Maximum height plane: No part of building exceeding-LOT 107 8.0m Rolling height 5,379 2.0m of maximum height. Proposed Rolling height Fill as per Civils Average ground level Natural ground level

LOT 109 8.0m Rolling height Natural ground level

OA SITE SECTION 16

1:500

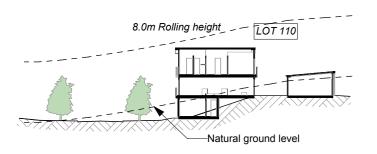
OA SITE SECTION 17

1:500

1:500

OA SITE SECTION 18

1:500



LOT 111 8.0m Rolling height -Natural ground level

LEGEND

Natural ground level

8.0m Rolling height

Average ground level

OA SITE SECTION 19 8

1:500

OA SITE SECTION 20 9

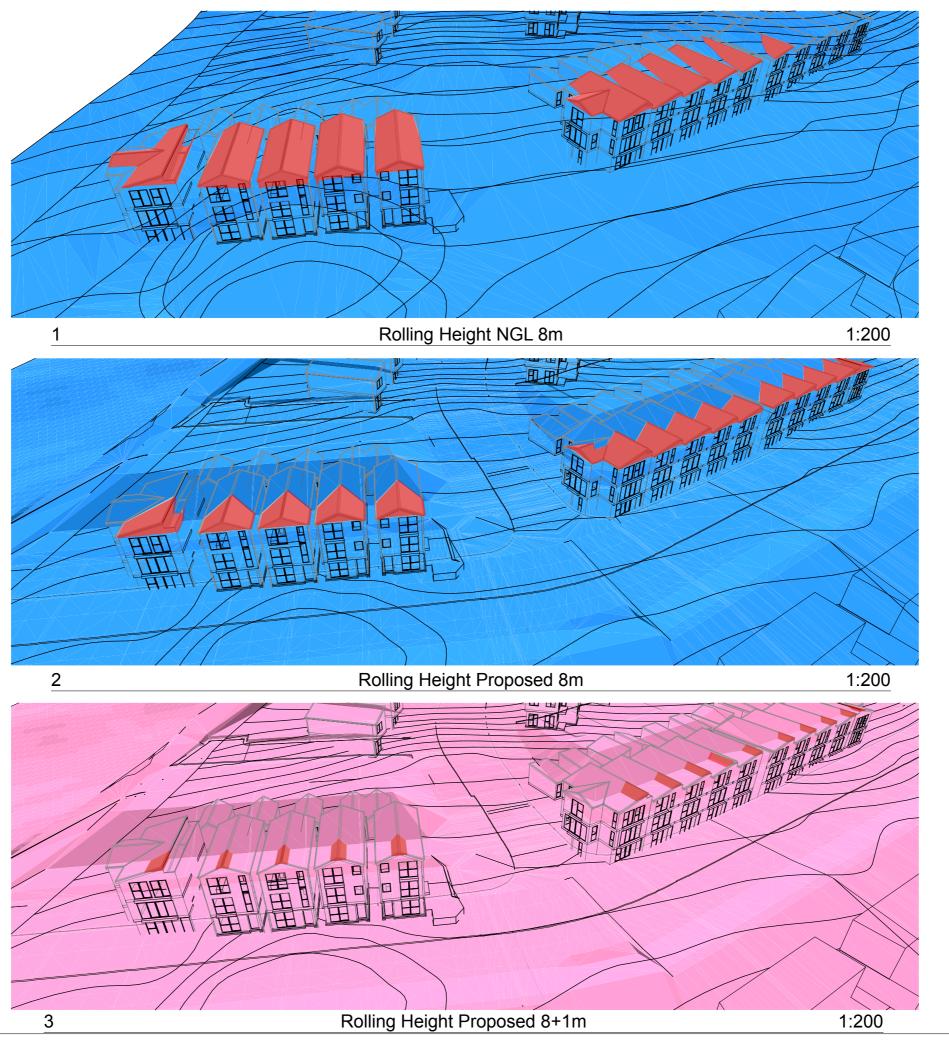
1:500

Site Sections OA3

Rev Date 25/07/2022 5864 Sheet No. Rev. Scale @A3: 1:500 A407

Northwest Developments Limited

18 Scott Road



Lovel 1. Waust Timber Building 198 Fainthew Storel, Auckland 1941 90 Gast Still Victoria Strack Waar Auckland 1962 New Zealand 4 K A 923 3382b www.wallargrecoparchitects.com walkerresidential architects ltd.

Northwest Developments Limited

18 Scott Road

Compliance

Scale @A3: 1:200 **A411**

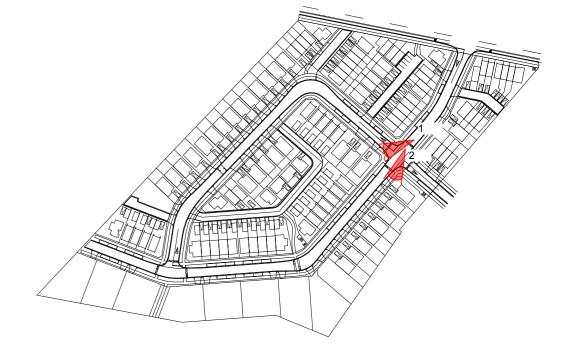
Rev Date 9/03/2022







Limestone Drive Street View 2



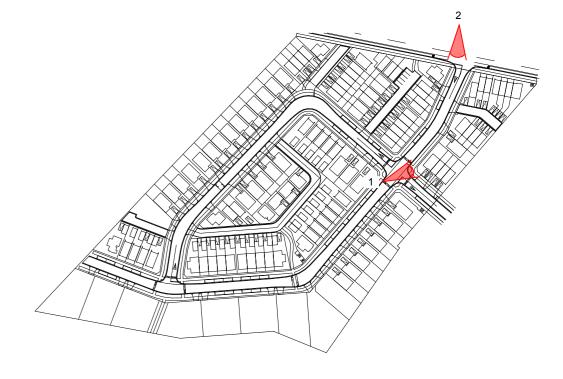
Rev Date 9/03/2022 Perspectives Scale @A3:



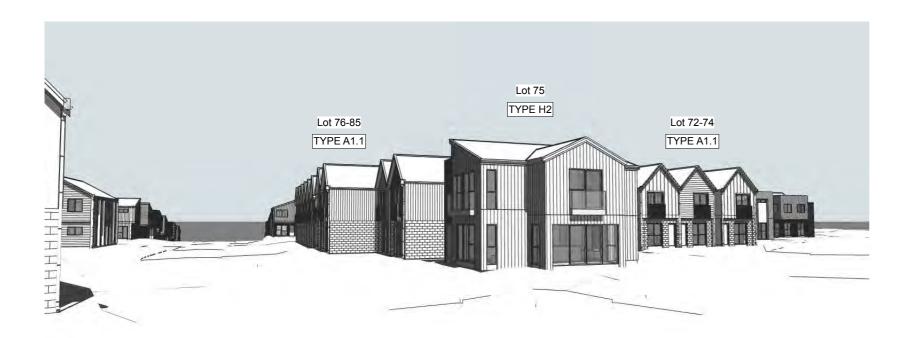
Limestone Drive Street View 3



Scott Rd Street View 4



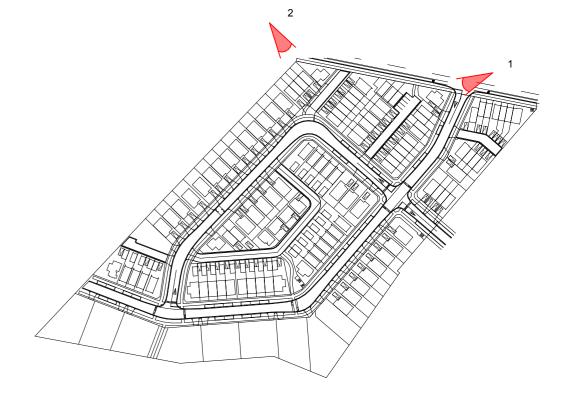
Rev Date 9/03/2022
Job No. 5864
Sheet No. Rev.
Scale @A3: A702 B







Scott Rd Street View 6



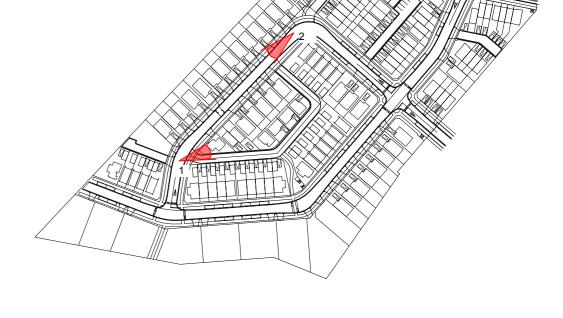
Rev Date 9/03/2022 5864 A703



Picnic Point Rd Street View 8



Picnic Point Rd Street View 7



Rev Date 9/03/2022

Job No. 5864

Sheet No. Rev.

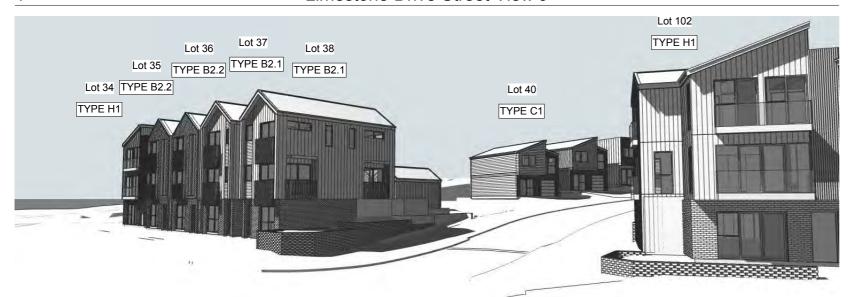
5864

Rev.

B Walker

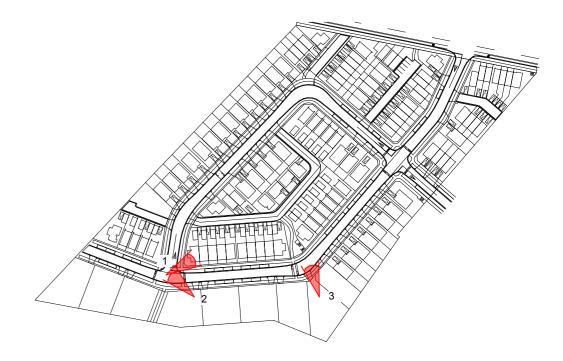


Limestone Drive Street View 9









Limestone Drive Street View 11

 Rev Date
 9/03/2022

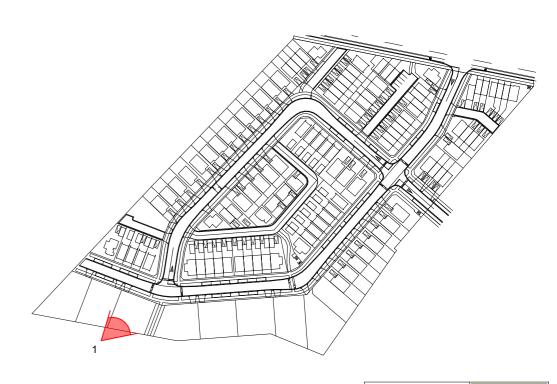
 Job No.
 5864

 Sheet No.
 Rev.

Perspectives

Scale @A3:





Perspectives

Rev Date 25/07/2022

5864

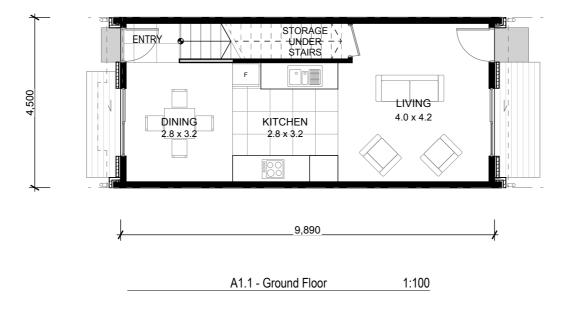


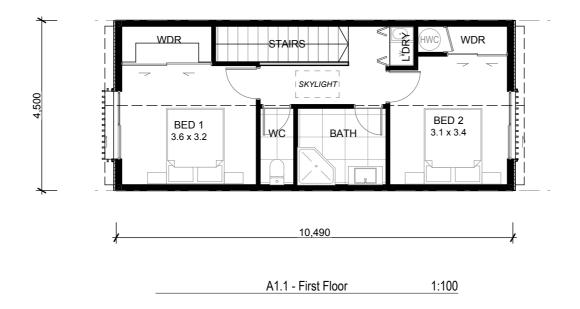
AREAS
TYPE A1.1 - GROUND
TYPE A1.1 - UPPER 44.61

47.21 91.82 m²

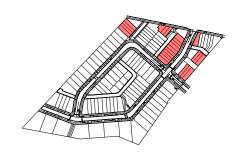
TYPOLOGY SUMMARY

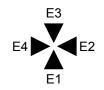
vels	2
ar Pad	1
ithroom	1
C	1





SITE LOCATIONS





Elevation Reference

Floor Plans

Rev Date 9/03/2022

5864

Scale @A3: 1:100 A1.1-A200



Front

Northwest Developments Limited

UNIT TYPE A1.1

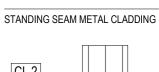
CONCRETE MASONRY VENEER 70 SERIES



Fair Faced

Fireash

Honed



BRICK VENEER - PAINTED

CL 3



CL 4

CL 5



FIBRE CEMENT BOARD - VERTICAL





FIBRE CEMENT PANELS





PAINT AND STAIN COLOUR PALETTE



MATERIALS AND COLOURS

CL 1

Kohl

Cream

CL 2

Rev Date 9/03/2022 5864





TYPE A - OPTION1 ELEVATION 4

1:100





TYPE A - OPTION2 ELEVATION 4 1:100 TYPE A - OPTION3 ELEVATION 4 1:100





TYPE A - OPTION2 ELEVATION 2 1:100

TYPE A - OPTION3 ELEVATION 2 1:100

CL 1

Elevations

1:100

P+6493733828

W www.walkergrouparchitects.com

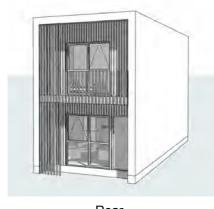
TYPE A - OPTION1 ELEVATION 2



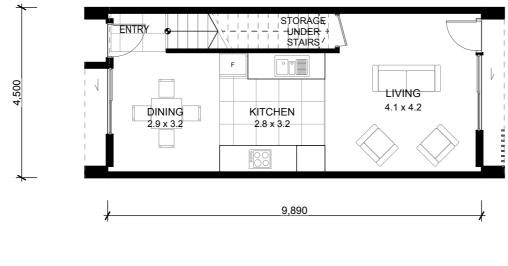
AREAS
TYPE A1.2 - GROUND 45.45 TYPE A1.2 - UPPER 45.23 90.68 m²

TYPOLOGY SUMMARY

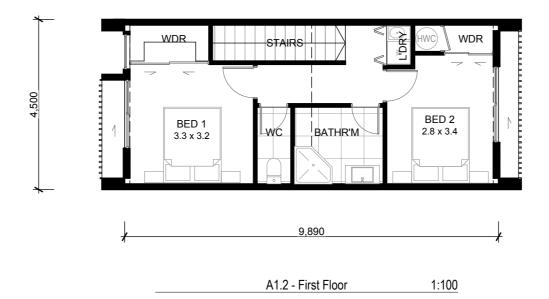
Levels	2
Car Pad	1
Bathroom	1
WC	1





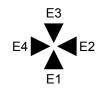


A1.2 - Ground Floor 1:100



SITE LOCATIONS





Elevation Reference

Floor Plans

Rev Date 9/03/2022

5864



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Northwest Developments Limited



UNIT TYPE A1.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1



Fair Faced

Fireash

Kohl

Cream



Honed

STANDING SEAM METAL CLADDING

CL 2



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7

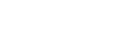


PAINT AND STAIN COLOUR PALETTE









A-4 Elevations

Rev Date 9/03/2022

5864

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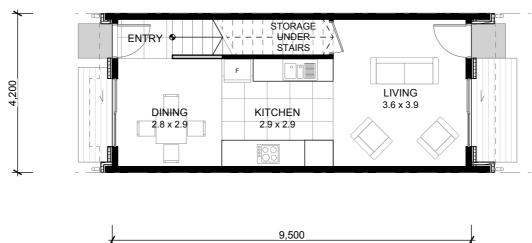
AREAS

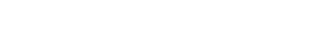
TYPE A2 - GROUND 39.90 TYPE A2 - UPPER 43.68 83.58 m²

Levels	2
Car Pad	1
Bathroom	1
WC	1

TYPOLOGY SUMMARY

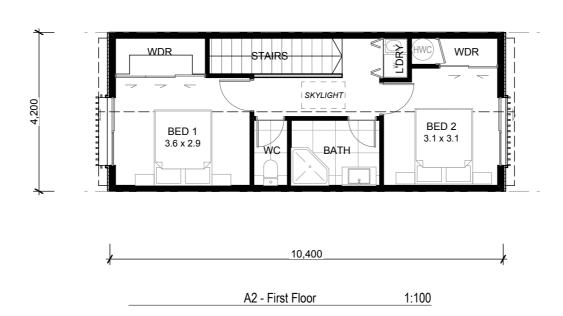
Levels	2
Car Pad	1
Bathroom	1
WC	1



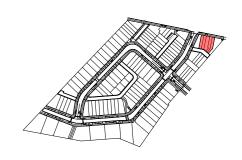


1:100

A2 - Ground Floor



SITE LOCATIONS





Elevation Reference

Division	Rev Date	9/03/2022	
Plans	Job No.	5864	
	Sheet No.	Rev.	

Front

UNIT TYPE A2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES



Fair Faced

Honed





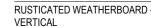




BRICK VENEER - PAINTED











HORIZONTAL



FIBRE CEMENT BOARD - VERTICAL





FIBRE CEMENT PANELS





PAINT AND STAIN COLOUR PALETTE







Fireash

CL 1

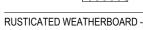
Kohl

Cream



CL 3





CL 5











TYPE A1 - OPT.3 ELEVATION 4

1:100



TYPE A1 - OPT.3 ELEVATION 2

1:100

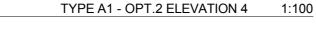
Rev Date **9/03/2022**

5864

В









TYPE A1 - OPT.1 ELEVATION 4 1:100

P+6493733828

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TYPE A1 - OPT.2 ELEVATION 42

UNIT TYPE B1.1

AREAS TYPE B1.1 - GARAGE 19.68 50.38 TYPE B1.1 - GROUND 53.00 TYPE B1.1 - UPPER 123.06 m²

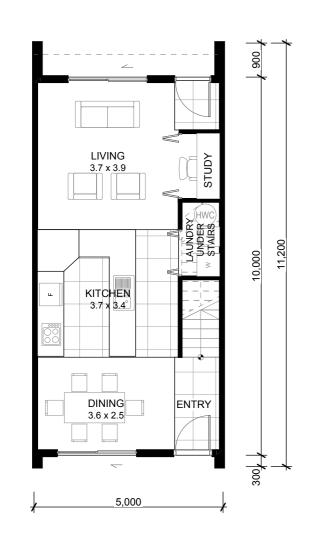
TYPOLOGY SUMMARY

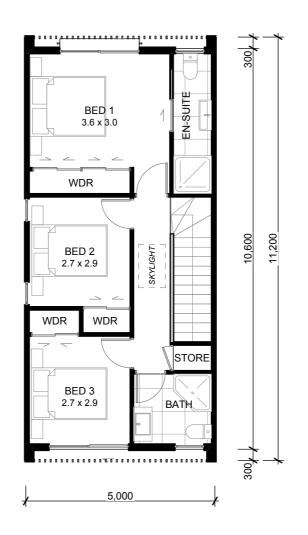
Levels		
Garage		
Bathroom		

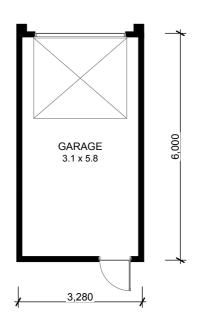




Front Rear







SITE LOCATIONS

B1.1 - Ground Floor 1:100 B1.1 - First Floor

B1.1 - Garage 1:100



Elevation Reference

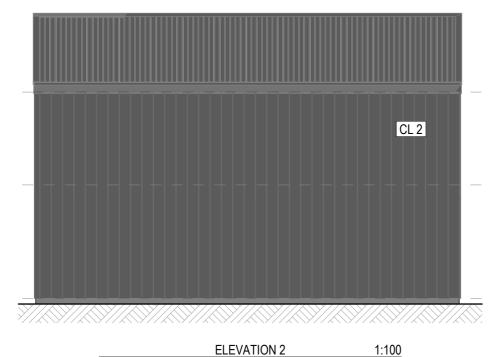
Plans

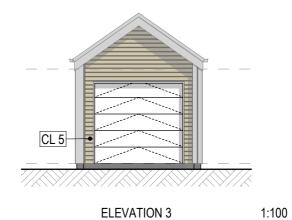
Rev Date 9/03/2022 5864

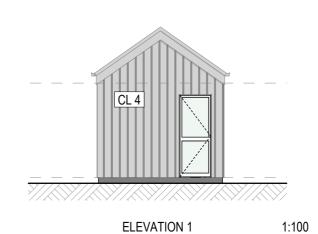


1:100





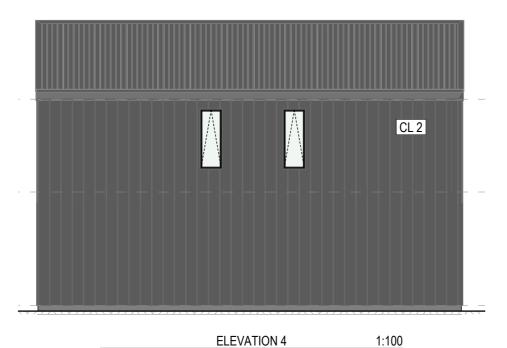


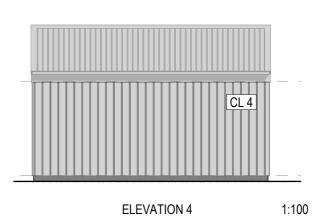


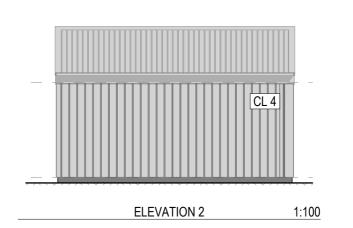


ELEVATION 3

1:100







UNIT TYPE B1.1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1

Fair Faced

Kohl

Fireash

Cream



STANDING SEAM METAL CLADDING

CL 2



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE



Elevations

Rev Date 9/03/2022



UNIT TYPE B1.2

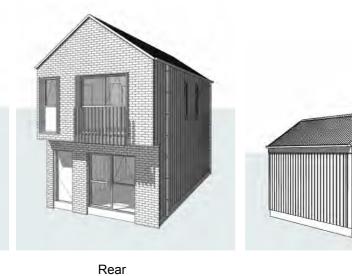
123.06 m²

AREAS

TYPE B1.2 - GARAGE 19.68 TYPE B1.2 - GROUND 50.38 TYPE B1.2 - UPPER 53.00

TYPOLOGY SUMMARY

Levels		
Garage		
Bathroom		



Front



BED 1 3.6 x 3.0 WDR SKYLIGHT BED 2 2.7 x 2.9 WDR BED 3 2.7 x 2.9 BATH

GARAGE 3.1 x 5.8 3,280

SITE LOCATIONS

Elevation Reference

Rev Date 9/03/2022

B1.2 - Ground Floor 1:100 B1.2 - First Floor 1:100 B - Garage

1:100

Plans

5864

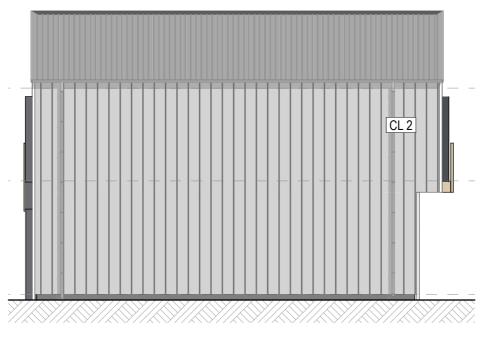
Lovel 1. Waust Timber Building 198 Fainthew Storel, Auckland 1941 90 Gast Still Victoria Strack Waar Auckland 1962 New Zealand 4 K A 2023 3020 www.wallargrecoparchitects.com walkerresidential architects ltd.



ELEVATION 1

1:100

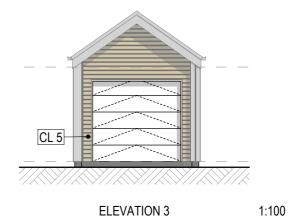
1:100

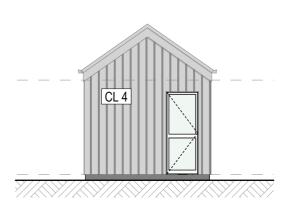


ELEVATION 2

1:100

1:100

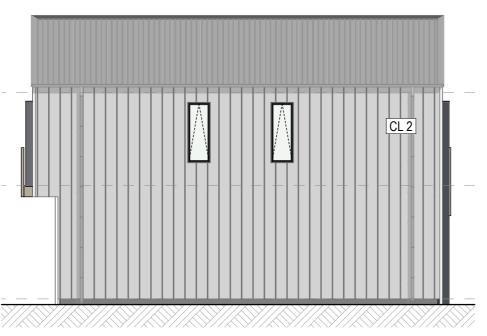




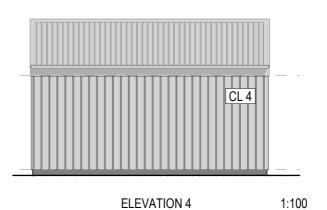


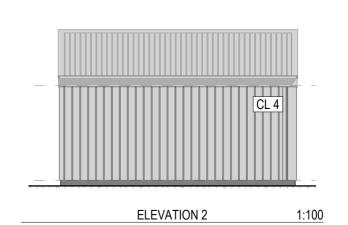


ELEVATION 3



ELEVATION 4





UNIT TYPE B1.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1

Fair Faced

Fireash

Honed

STANDING SEAM METAL CLADDING

CL 2

Cream

Kohl



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE





Elevations

Rev Date 9/03/2022

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UNIT TYPE B2.1

AREAS
TYPE B2.1 - BASEMENT 31.82 19.68 TYPE B2.1 - GARAGE 49.75 TYPE B2.1 - GROUND 52.74 TYPE B2.1 - UPPER

153.99 m²

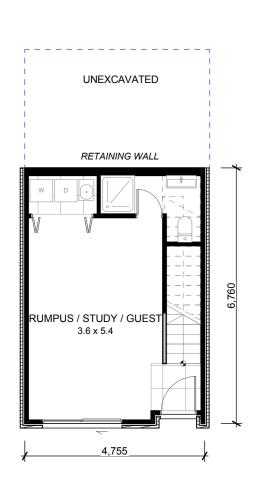
TYPOLOGY SUMMARY

evels	3
arage	•
athroom	3
/C	•

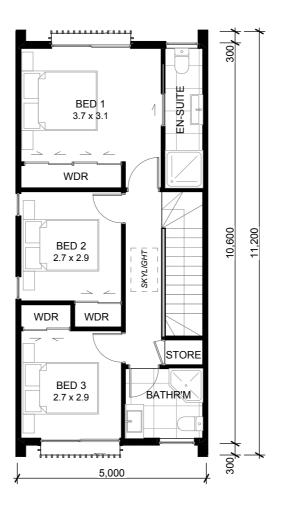


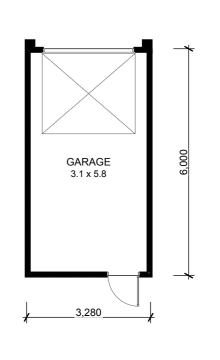


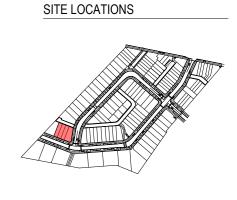
Rear









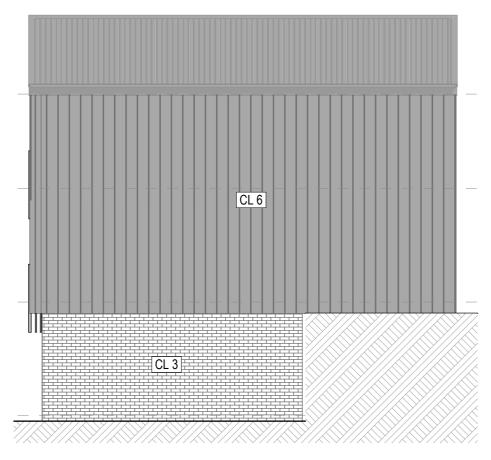


Elevation Reference

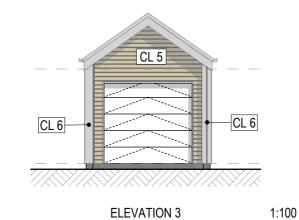
B2.1 - Basement 1:100 B2.1 - Ground 1:100 B2.1 - First Floor 1:100 B2.1 - Garage 1:100

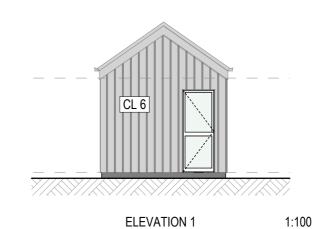
> Rev Date 9/03/2022 Plans

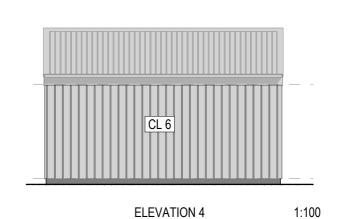


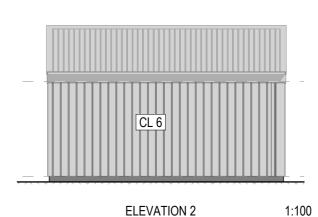


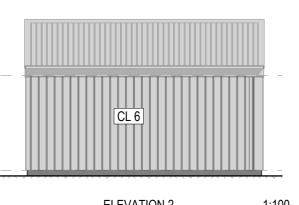
ELEVATION 2











Elevations

Rev Date 9/03/2022



UNIT TYPE B2.1

MATERIALS AND COLOURS

CL 1

Kohl

Fireash

Cream

CL 2

CL 3

CL 4

CL 5

CL 6

CL 7

FIBRE CEMENT PANELS

CONCRETE MASONRY VENEER 70 SERIES

Fair Faced

STANDING SEAM METAL CLADDING

BRICK VENEER - PAINTED

RUSTICATED WEATHERBOARD -VERTICAL

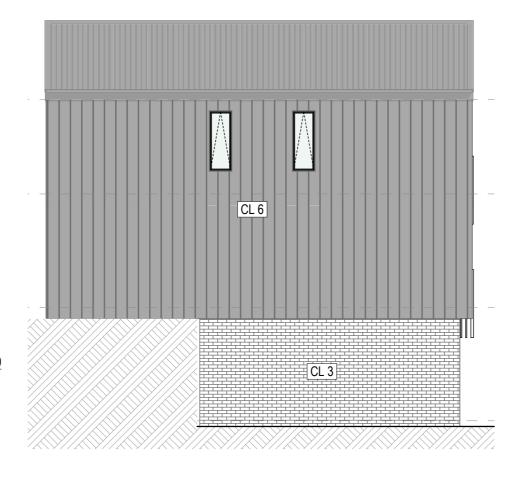
RUSTICATED WEATHERBOARD -HORIZONTAL

FIBRE CEMENT BOARD - VERTICAL

PAINT AND STAIN COLOUR PALETTE

ELEVATION 3 1:100

CL 6



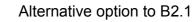
ELEVATION 4

Northwest Developments Limited

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1:100

1:100



UNIT TYPE B2.2

153.99 m²



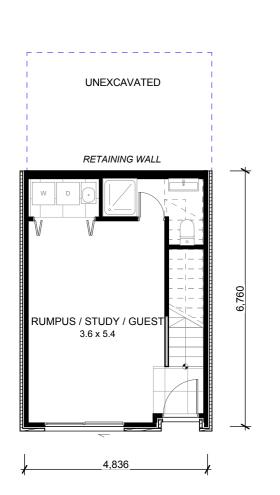
AREAS
TYPE B2.2 - BASEMENT 31.82 19.68 TYPE B2.2 - GARAGE TYPE B2.2 - GROUND 49.75 TYPE B2.2 - UPPER 52.74

TYPOLOGY SUMMARY

Levels		
Garage		
Bathroom		
WC		

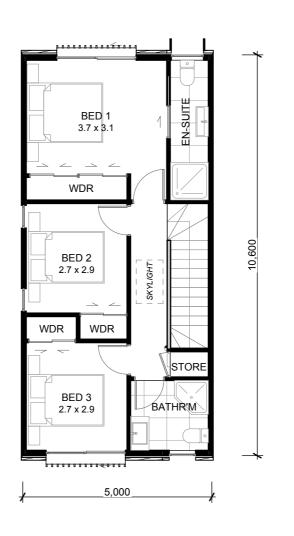


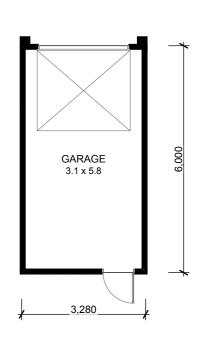
Front Rear



walkerresidential architects ltd.







SITE LOCATIONS

Elevation Reference

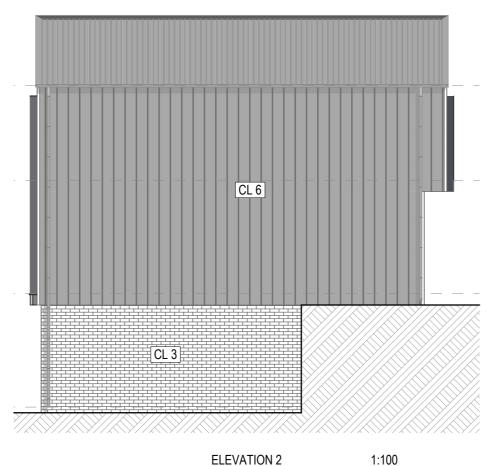
B2.2- Basement 1:100 B2.2- Ground 1:100 B2.2- First Floor 1:100 B2.2 - Garage 1:100

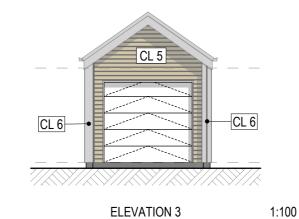
Plans

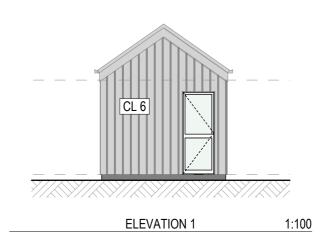
Rev Date 9/03/2022 5864

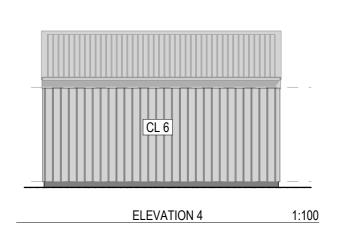
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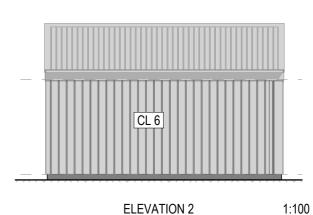












UNIT TYPE B2.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

Fair Faced

STANDING SEAM METAL CLADDING

CL 2

CL 1

Kohl

Fireash

Cream



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE

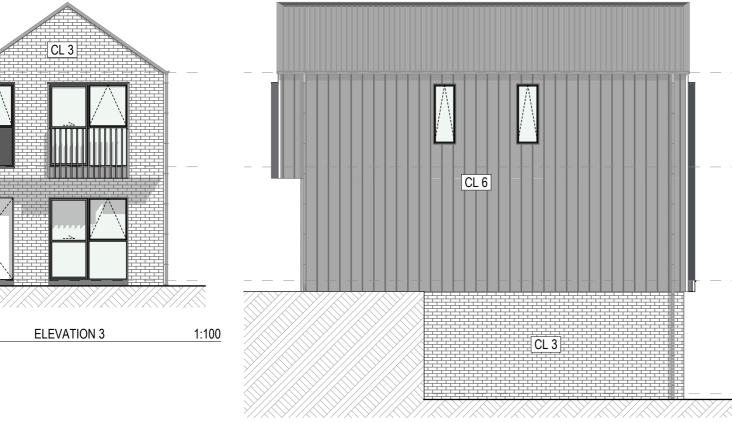




Elevations

Rev Date 9/03/2022





ELEVATION 4



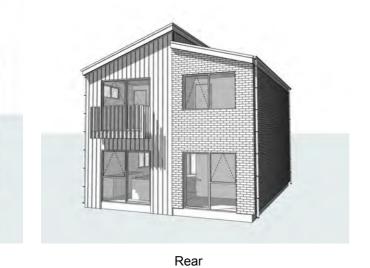
AREAS

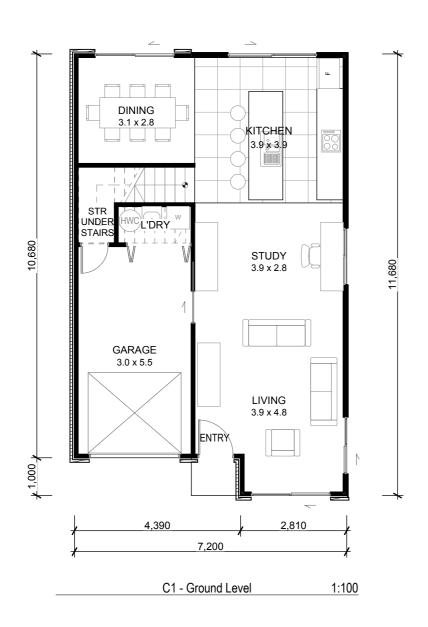
TYPE C1 - GROUND 79.90 TYPE C1 - UPPER 83.25

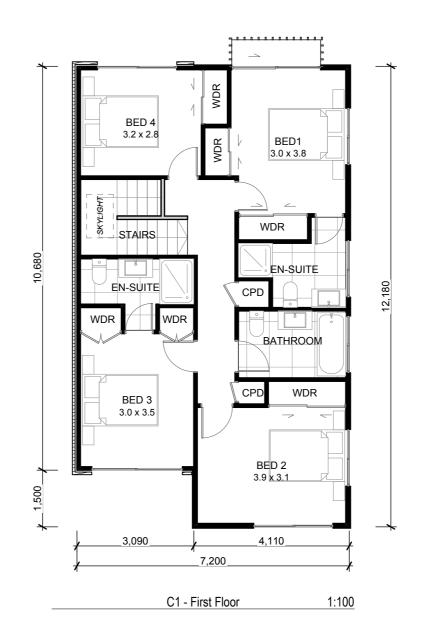
163.15 m²

TYPOLOGY SUMMARY

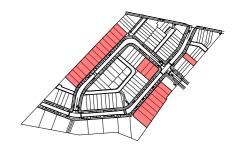
evels	2
Car Pad	1
Sarage	1
lathroom	3







SITE LOCATIONS





Elevation Reference

Plans	Rev Date	9/03/2022
	Job No.	5864
	Sheet No.	Rev.

Front

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES



Fair Faced

STANDING SEAM METAL CLADDING



Kohl

Fireash

Cream



BRICK VENEER - PAINTED





RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL





FIBRE CEMENT PANELS





PAINT AND STAIN COLOUR PALETTE



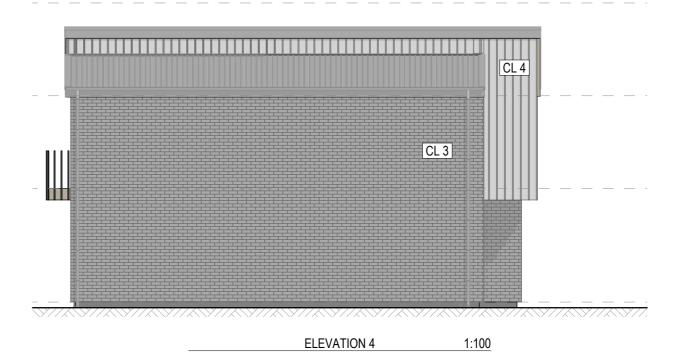


CL 4 **ELEVATION 2** 1:100



CL 3





Elevations

Rev Date 9/03/2022

5864

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MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES



Fair Faced

Kohl

Cream

STANDING SEAM METAL CLADDING

CL 2

Fireash



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



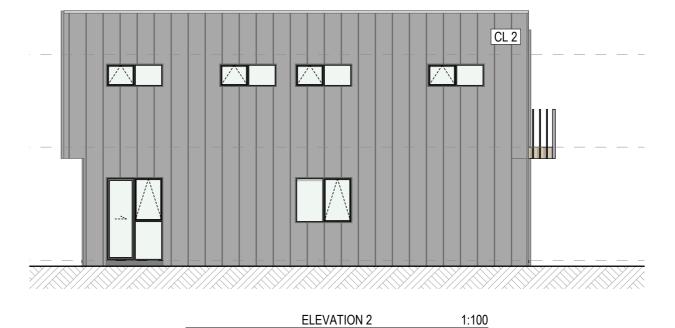
FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE





CL 3 CL 3 CL 2

ELEVATION 4

1:100

CL 2 CL 3 **ELEVATION 3** 1:100

ELEVATION 1

CL 3

1:100

CL 2

Elevations

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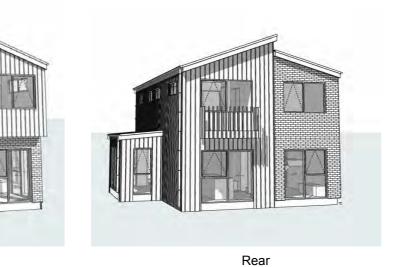


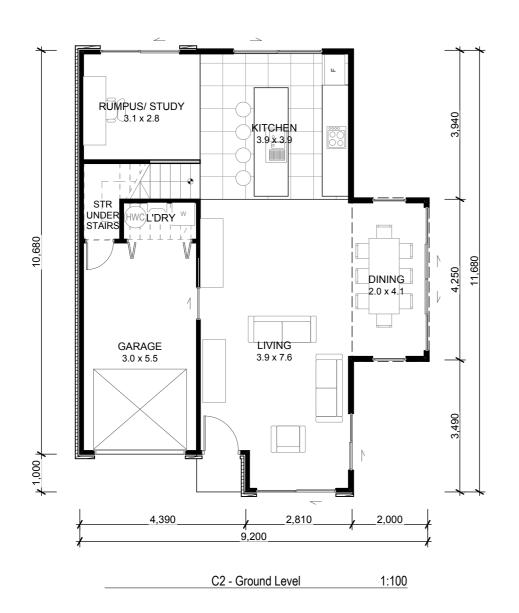
AREAS

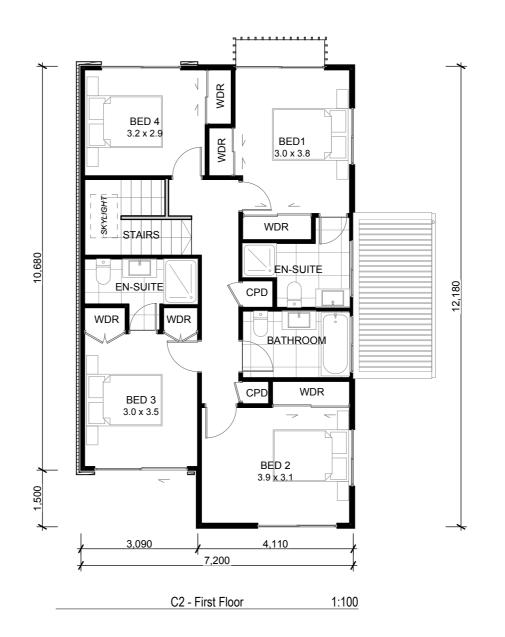
TYPE C2 - GROUND 88.41 TYPE C2 - UPPER 83.25 171.66 m²

TYPOLOGY SUMMARY

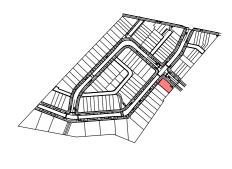
.evels	2
Car Pad	1
Sarage	1
Bathroom	3







SITE LOCATIONS





Elevation Reference

Rev Date 9/03/2022 Plans 5864

Front

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES





Kohl

Fireash

Fair Faced

Cream



STANDING SEAM METAL CLADDING





BRICK VENEER - PAINTED





RUSTICATED WEATHERBOARD -VERTICAL





RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL





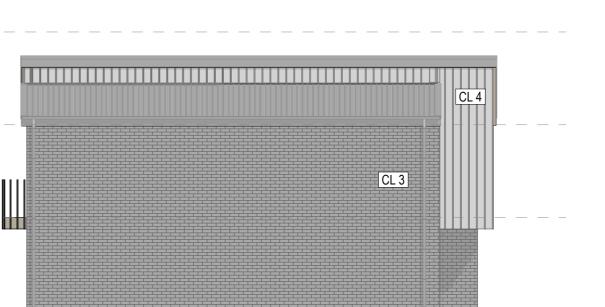
FIBRE CEMENT PANELS





PAINT AND STAIN COLOUR PALETTE





CL 4

1:100

1:100

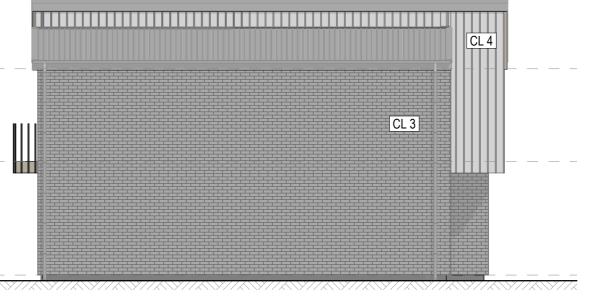


ELEVATION 1

1:100

CL 4

CL 3



ELEVATION 4

ELEVATION 2

Elevations

Rev Date 9/03/2022

5864



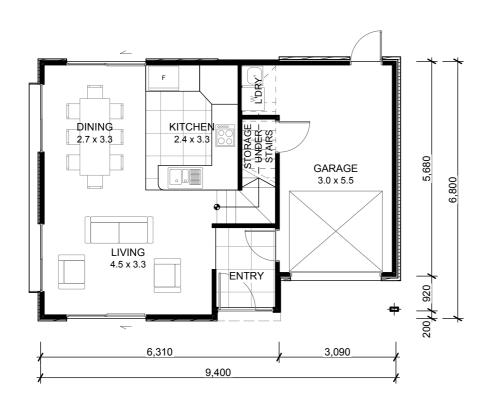
AREAS

TYPE D1 - GROUND TYPE D1 - UPPER

60.34 60.83 121.17 m²

TYPOLOGY SUMMARY

Levels		
Garage		
Rathroom		



D1.1 - Ground Floor

Northwest Developments Limited

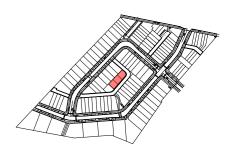
1:100

EN-SUITE BED 3 3.1 x 2.9 WDR WDR BED 1 3.0 x 3.8 BED 2 3.1 x 2.9 BATHROOM 3,090

D1.1 - First Floor

1:100

SITE LOCATIONS

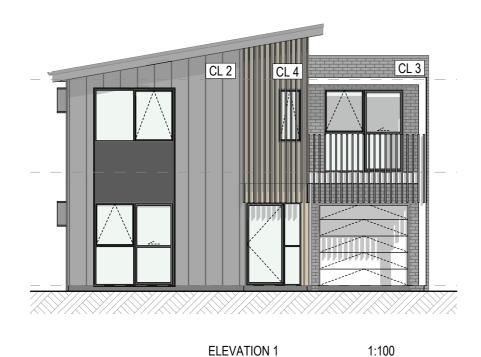


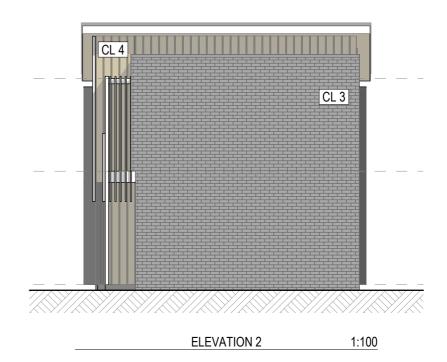
Elevation Reference

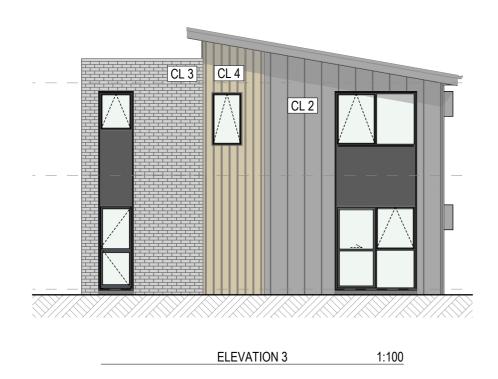
Plans

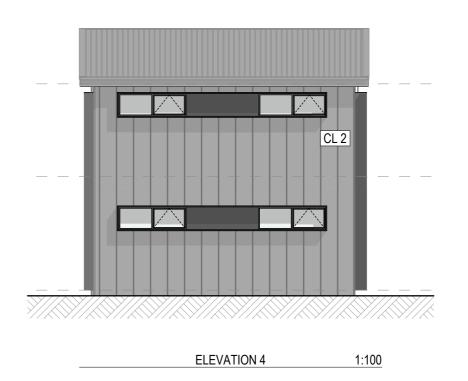
5864

Front









UNIT TYPE D1.1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1

Kohl

Fair Faced

Cream

Fireash



Honed

STANDING SEAM METAL CLADDING

CL 2



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



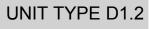
PAINT AND STAIN COLOUR PALETTE



Elevations

Rev Date 9/03/2022





AREAS

TYPE D1 - GROUND 60.34

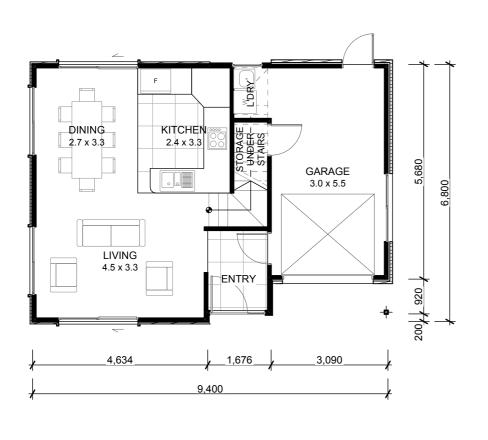
TYPE D1 - UPPER 60.83

121.17 m²

TYPOLOGY SUMMARY

Levels		
Garage		
Rathroom		





D1.2 - Ground Floor 1:100 _____ D1.2 - First Floor 1:100

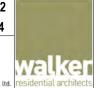
E4

Elevation Reference

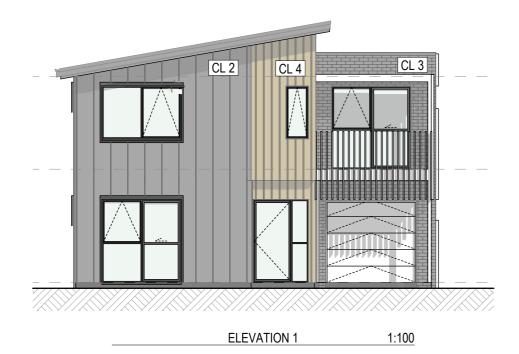
Plans Rev

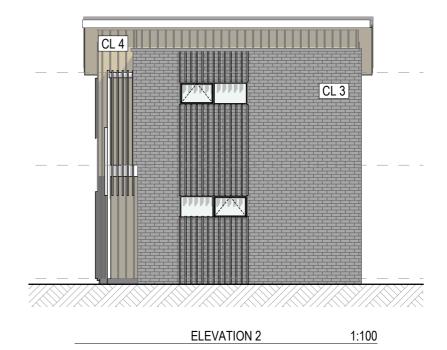
Rev Date 9/03/2022 Job No. 5864

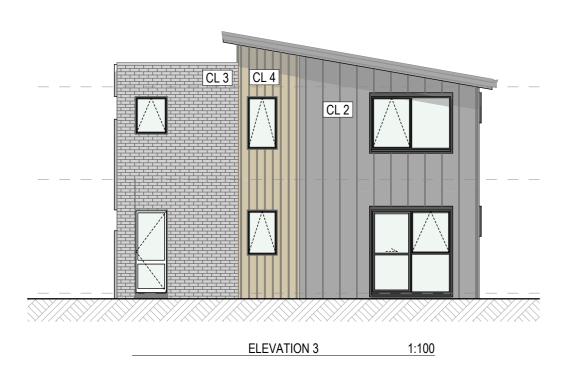
SITE LOCATIONS

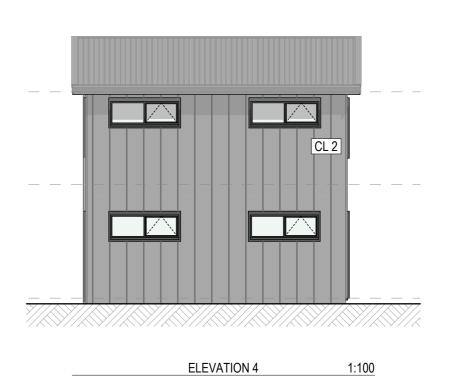


Ε









UNIT TYPE D1.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1



Kohl

Fair Faced

Fireash

Cream



Honed

STANDING SEAM METAL CLADDING

CL 2



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE



Elevations

Rev Date 9/03/2022

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AREAS

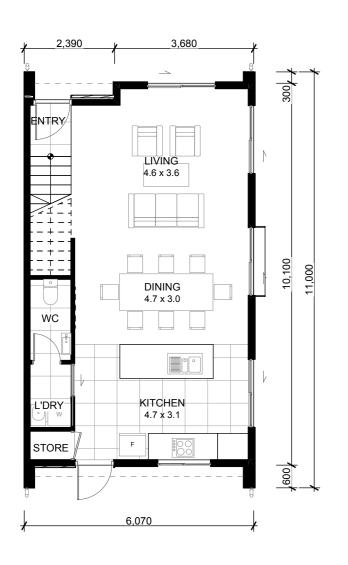
TYPE E1.1 - GROUND 60.27 TYPE E1.1 - UPPER 63.13 123.40 m²

TYPOLOGY SUMMARY

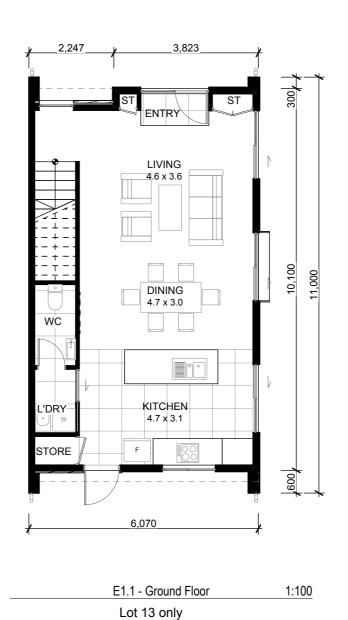
Levels	2
Car Pad	1
Bathroom	2
WC	1

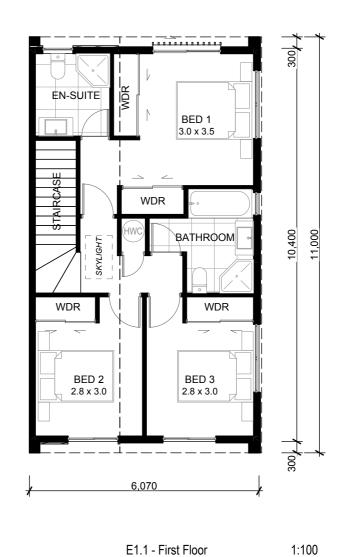


Front



E1.1 - Ground Floor











Elevation Reference

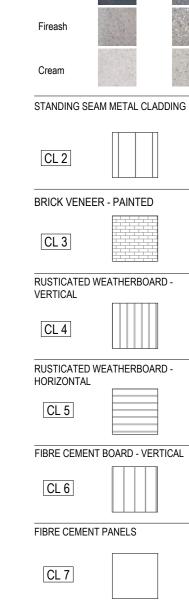
Rev Date 9/03/2022 Plans

1:100

ELEVATION 1 1:100







UNIT TYPE E1.1

MATERIALS AND COLOURS

CL 1

Kohl

CONCRETE MASONRY VENEER 70 SERIES

Fair Faced

Honed

PAINT AND STAIN COLOUR PALETTE



AREAS

TYPE E1.2 - GROUND 61.25

TYPE E1.2 - UPPER 62.16

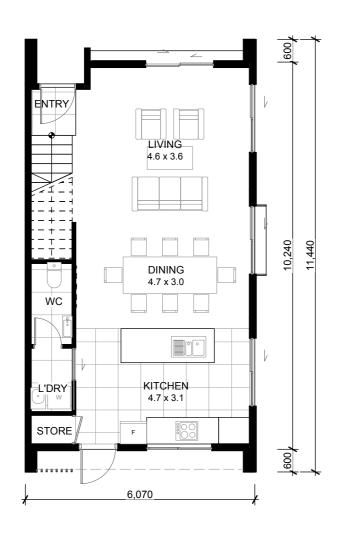
123.41 m²

TYPOLOGY SUMMARY

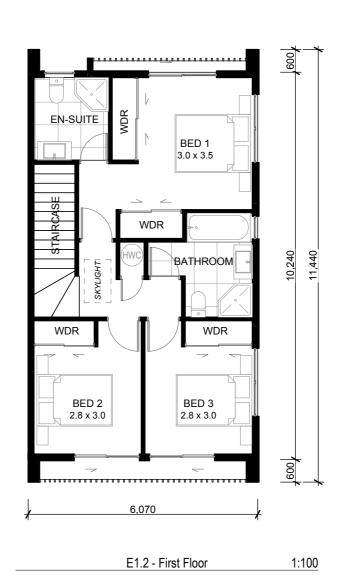
2
1
2
1



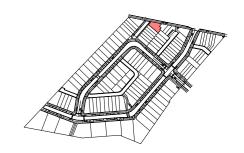
Front Rear

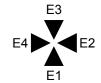


E1.2 - Ground Floor 1:100



SITE LOCATIONS



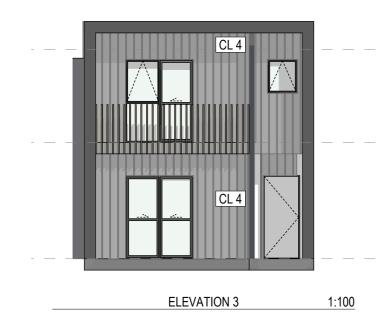


Elevation Reference

Plans Rev Date 9/03/2022
Job No. 5864
Sheet No. Rev







UNIT TYPE E1.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1



Kohl

Fair Faced

Fireash

Cream



Honed

STANDING SEAM METAL CLADDING

CL 2



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE



Elevations

Rev Date 9/03/2022

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UNIT TYPE F

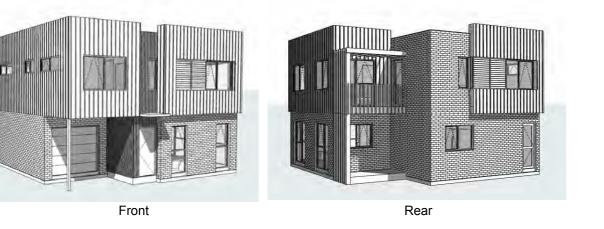
AREAS

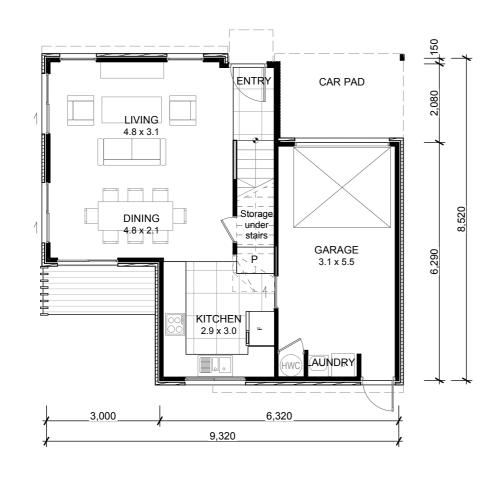
TYPE F - GROUND 62.64

TYPE F - UPPER 73.37 136.01 m²

TYPOLOGY SUMMARY

Levels		
Garage		
Bathroom		





F - Ground Floor 1:100



F - First Floor 1:100







Elevation Reference

Rev Date 9/03/2022 Plans

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MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1



Fair Faced

STANDING SEAM METAL CLADDING

CL 2

Kohl

Fireash

Cream



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE



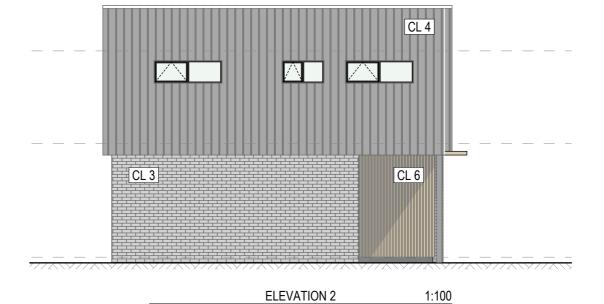
Elevations

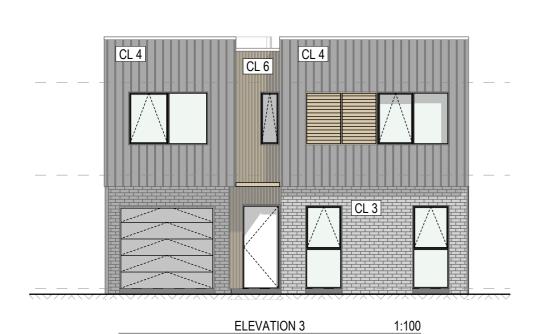
Rev Date 9/03/2022

5864











UNIT TYPE G1

169.33 m²

AREAS

 TYPE G1 - BASEMENT
 31.45

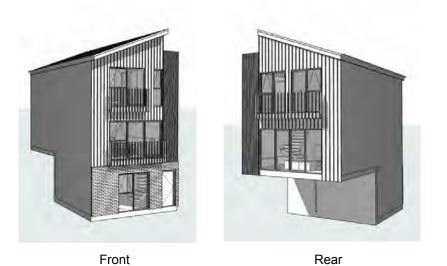
 TYPE G1 - GARAGE
 19.68

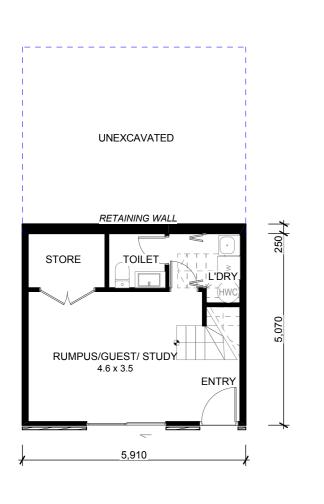
 TYPE G1 - GROUND
 59.10

 TYPE G1 - UPPER
 59.10

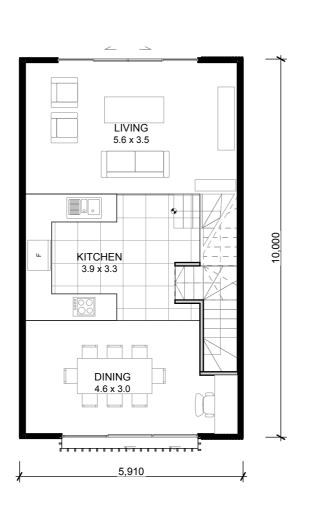
TYPOLOGY SUMMARY

evels	3
arage	•
athroom	2
/C	•





G1 - Basement

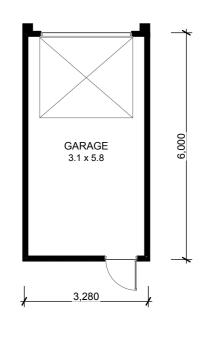


G1 - Ground Floor



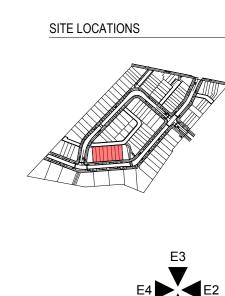
G1 - First Floor

1:100



G1 - Garage

1:100



Elevation Reference

Plans Rev Date 9/03/2022
Job No. 5864

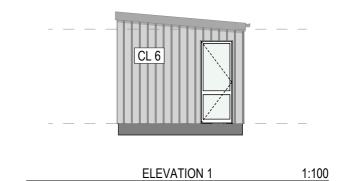
1:100

1:100





ELEVATION 3 1:100



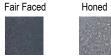
UNIT TYPE G1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1





Fireash

Kohl



Cream



STANDING SEAM METAL CLADDING

CL 2



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE



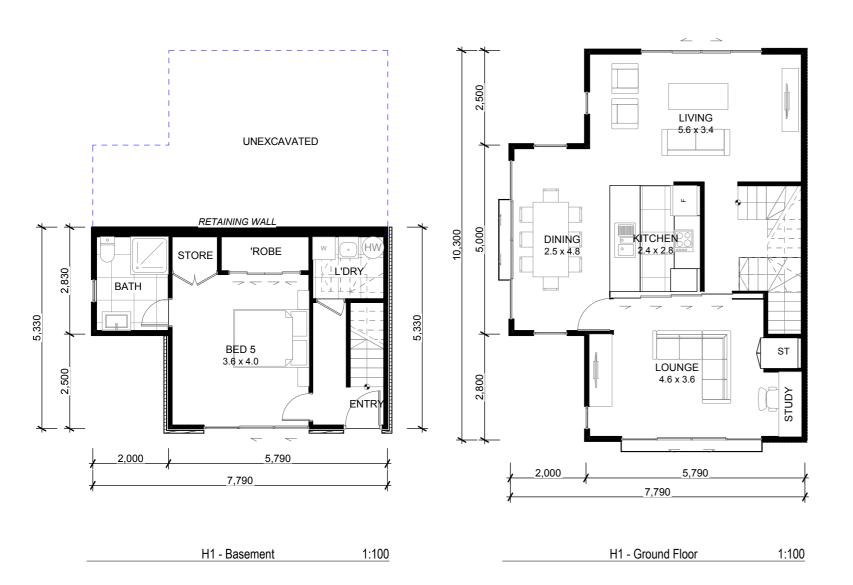
Elevations

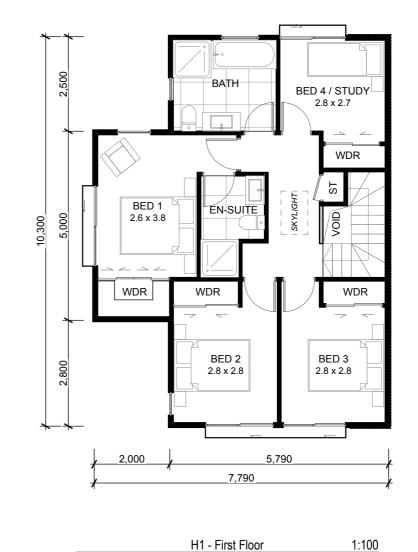
Rev Date 9/03/2022

b No.

5864







UNIT TYPE H1

AREAS

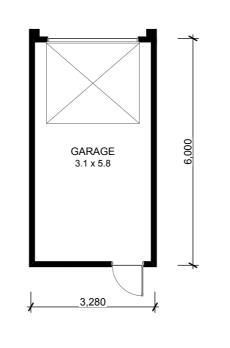
TYPE H1 - BASEMENT	36.51
TYPE H1 - GARAGE	19.68
TYPE H1 - GROUND	69.64
TYPE H1 - UPPER	69.64
	195.47 m²

TYPOLOGY SUMMARY

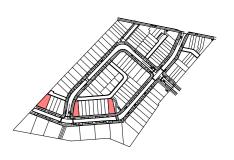
Levels		
Garage		
Bathroom		



Front



H1 - Garage 1:100 SITE LOCATIONS





Elevation Reference

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev

Plans

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

Fair Faced

Cream

CL 1

Kohl

Fireash

STANDING SEAM METAL CLADDING

CL 2



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE



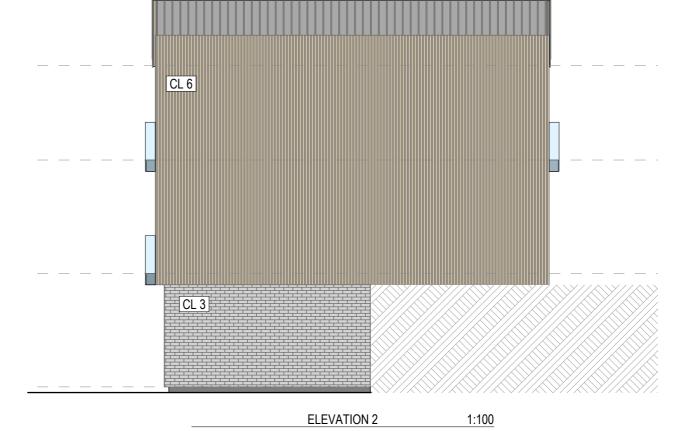
Elevations

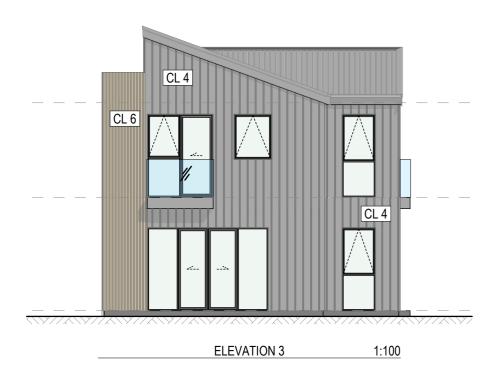
Rev Date 9/03/2022

5864









ELEVATION 1

1:100



ELEVATION 4

1:100

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MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL1

Fair Faced

Fireash

Honed

STANDING SEAM METAL CLADDING

CL 2

Kohl

Cream



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



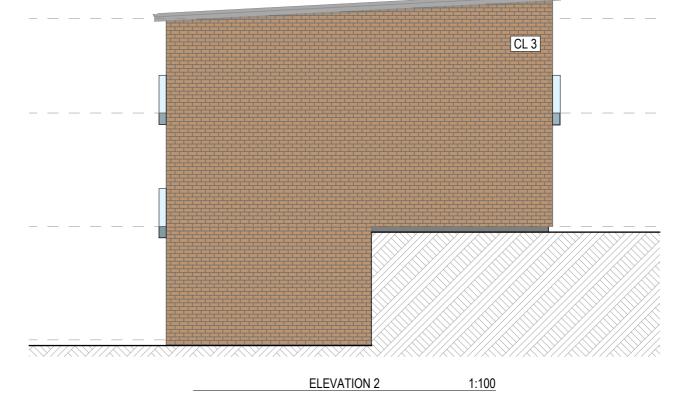
FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE





CL 3

1:100

ELEVATION 1

ELEVATION 3

CL 3



1:100

ELEVATION 4

1:100

Elevations

DOIS Rev Date 9/03/2022
Job No. 5864

Scale @A3: 1:100, 1:50 | **H1.2-2-A300 B**

Sheet No. Rev.

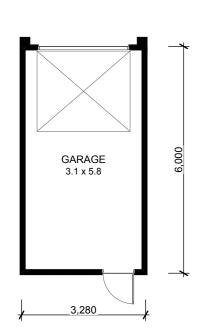
Rev.

B Walker life residential architects

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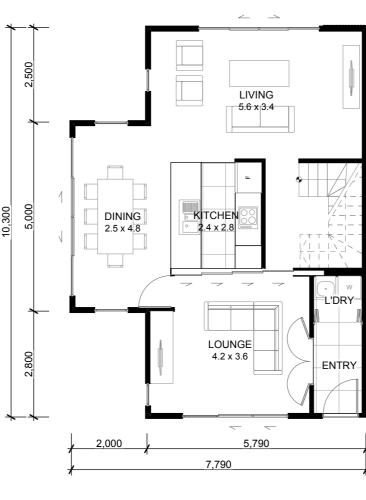
CL 4



Lot 112 only

H2 - Garage

1:100

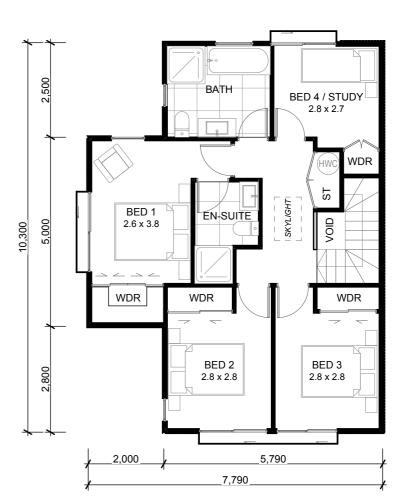


H2 - Ground

L'DRY

1:100

H2 - First Floor



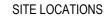
UNIT TYPE H2

AREAS

	158 96
TYPE H2 - UPPER	69
TYPE H2 - GROUND	69
TYPE H2 - GARAGE	19

TYPOLOGY SUMMARY

Levels	2
Car pad (lot 75 only)	2
Garage (lot 112 only)	1
Bathroom	2



1:100





Elevation Reference

Division	Rev Date	9/03/2022
Plans	Job No.	5864
	Sheet No.	Rev.

В

Scale @A3: 1:100 **H2-A200**



Front

UNIT TYPE H2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1



Fair Faced Kohl

Cream

Fireash

STANDING SEAM METAL CLADDING

CL 2



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE

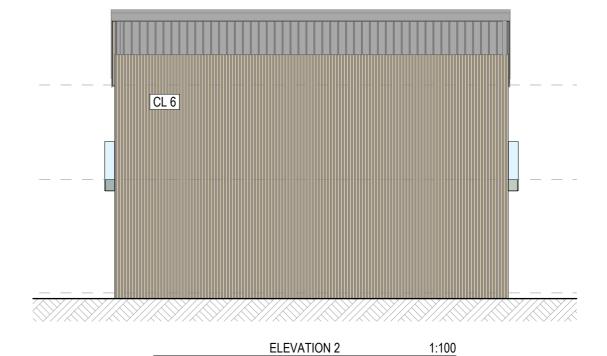




5864

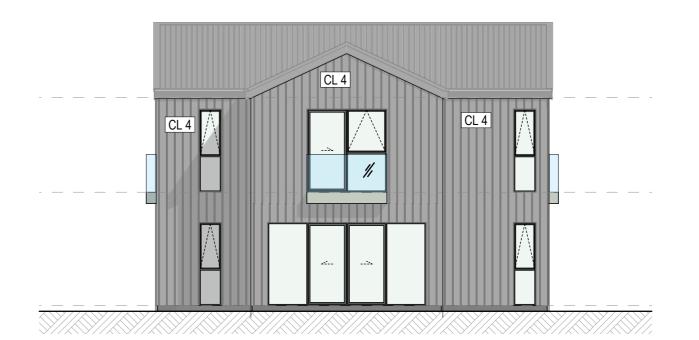


ELEVATION 1





Northwest Developments Limited



ELEVATION 4 1:100

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

Fair Faced

Honed

STANDING SEAM METAL CLADDING

CL 2

CL 1

Kohl

Fireash

Cream



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE





ELEVATION 2

CL 4 CL 3

> **ELEVATION 1** 1:100

CL 4 CL 3

> **ELEVATION 3** 1:100

ELEVATION 4

1:100

1:100

CL 3

Elevations

Rev Date 9/03/2022

5864



AREAS

TYPE I1 - GROUND TYPE I1 - UPPER

53.00 103.00 m²

TYPOLOGY SUMMARY

evels	:
ar Pad	
athroom	:

NOTE FOR BEDROOM 2

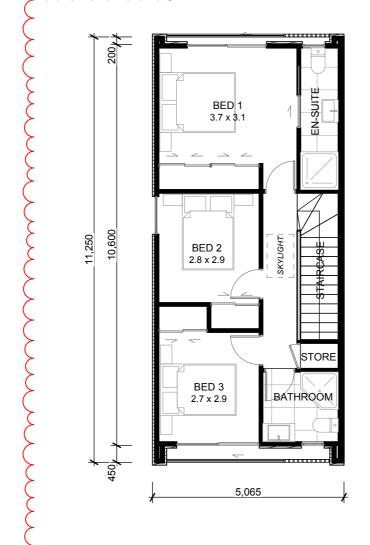
For lot 67 and 69, Fire rated windows and a vertilation solution is required to comply with NZBC C1 and C4 section 1.5

Alternative window positions are required so that privacy and 1m outlook can be



Front

I1 - Ground 1:100



I1 - First Floor

BED 1 3.7 x 3.1 BED 2 2.7 x 2.9 BED 3 BATHROOM 2.7 x 2.9 5,065

I1 - First Floor - Alt window

1:100

SITE LOCATIONS



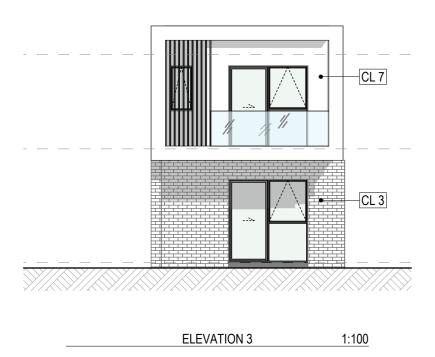


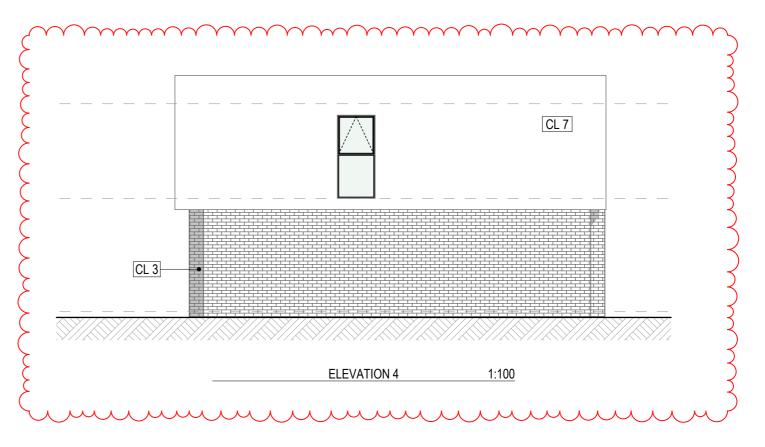
Elevation Reference

Plans	Rev Date	25/07/2022	
	Job No.	5864	
	Sheet No.	Rev.	
Scale @A3: 1:100	I1-A200	С	W

1:100

CL 7 CL 3 **ELEVATION 1** 1:100





UNIT TYPE I1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1



Kohl

Fair Faced

Fireash

STANDING SEAM METAL CLADDING

CL 2

Cream



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



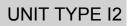
FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE





138.89 m²



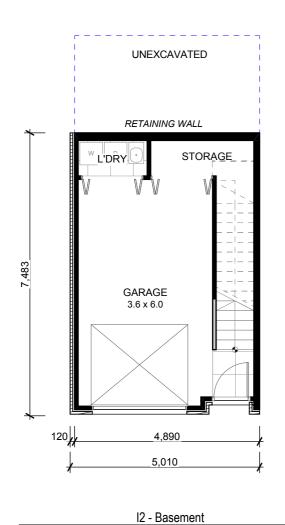
AREAS

TYPE I2 - BASEMENT 35.89 TYPE I2 - GROUND 50.00 TYPE I2 - UPPER 53.00

TYPOLOGY SUMMARY

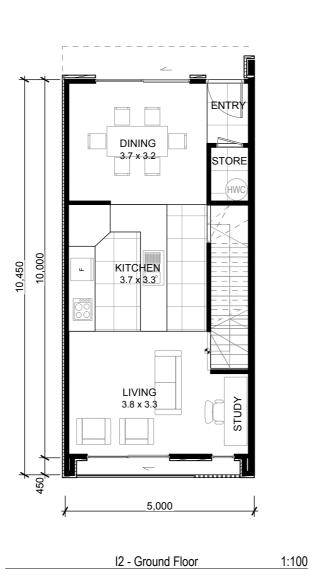
Levels		
Garage		
Bathroom		

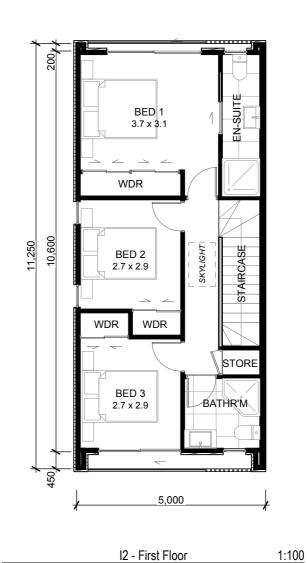
Front Rear



1:100

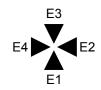
Northwest Developments Limited





SITE LOCATIONS



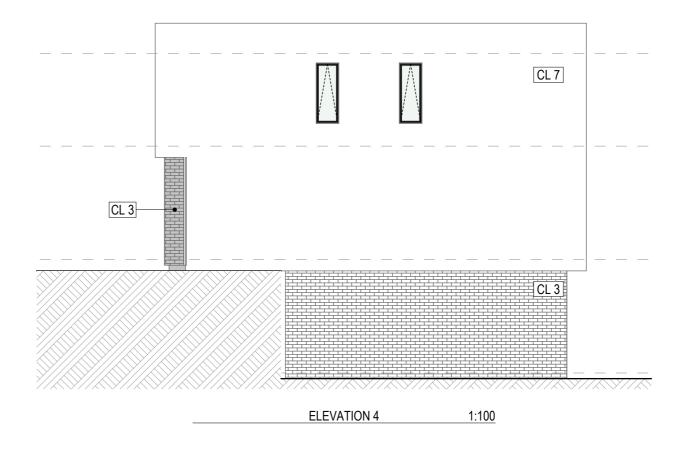


Elevation Reference

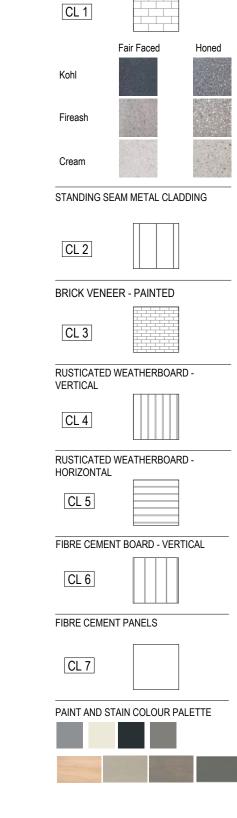
Plane	Rev Date	9/03/2022
	Job No.	5864
	Sheet No.	Rev.

18 Scott Road

CL 7 CL 3 **ELEVATION 1** 1:100







UNIT TYPE I2

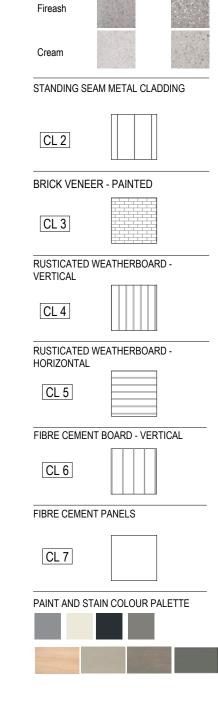
MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 2 CL 5 **ELEVATION 1** 1:100







UNIT Not in issue

MATERIALS AND COLOURS

CL 1

Kohl

CONCRETE MASONRY VENEER 70 SERIES

Fair Faced

Honed

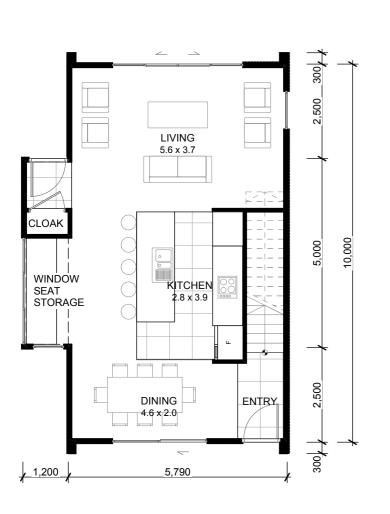
UNIT TYPE H

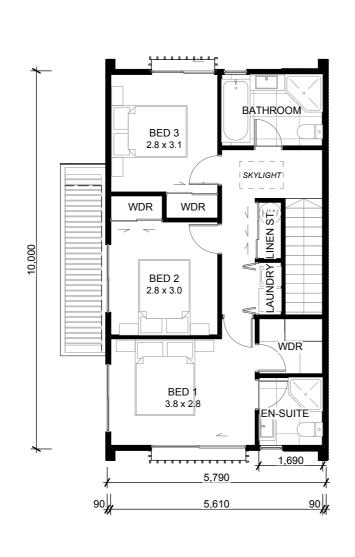
AREAS

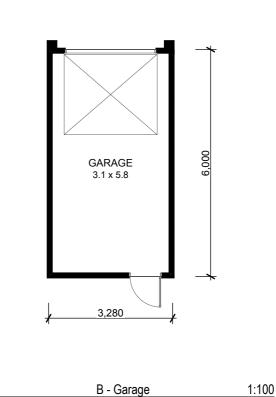
Area m² TYPE H2 - GARAGE 19.68 TYPE H2 - GROUND 69.64 TYPE H2 - UPPER 69.64 158.96 m²

TYPOLOGY SUMMARY

Levels		
Garage		
Bathroom		







SITE LOCATIONS

H - Ground Floor 1:100 H - First Floor 1:100

Elevation Reference

Rev Date 9/03/2022 Plans

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1



Fair Faced

STANDING SEAM METAL CLADDING

CL 2

Kohl

Fireash

Cream



BRICK VENEER - PAINTED

CL 3



RUSTICATED WEATHERBOARD -VERTICAL

CL 4



RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



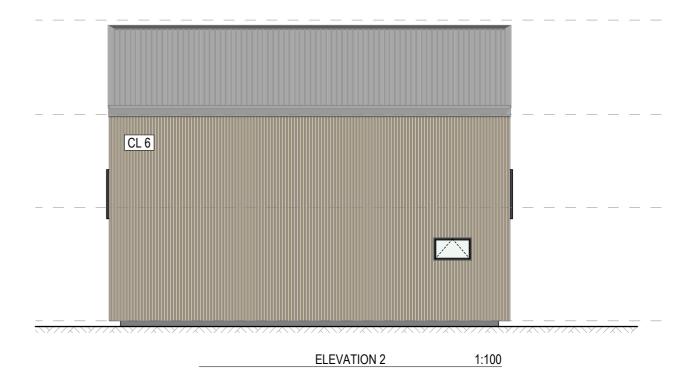
FIBRE CEMENT PANELS





PAINT AND STAIN COLOUR PALETTE







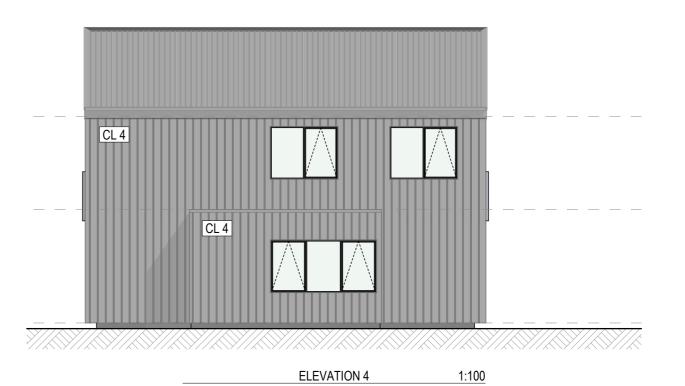
ELEVATION 1

CL 4

CL 6

1:100

CL 4



Elevations

Rev Date 9/03/2022

5864

31.45

19.68

59.10 59.10

169.33 m²

AREAS

Levels Garage Bathroom

TYPE G1 - BASEMENT

TYPE G1 - GARAGE

TYPE G1 - GROUND

TYPOLOGY SUMMARY

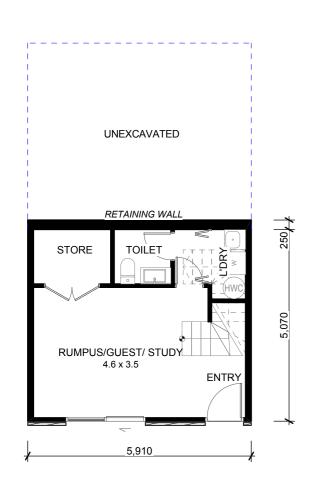
TYPE G1 - UPPER



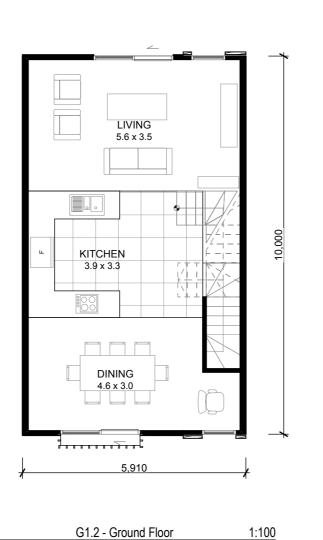


Elevation 1

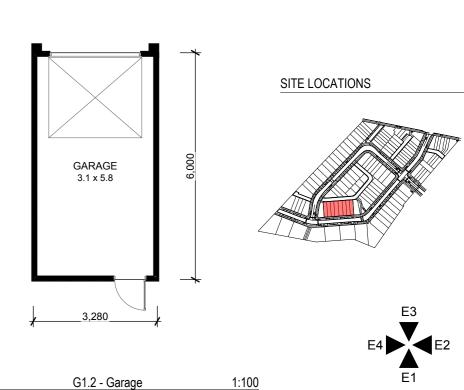
Elevation 3



G1.2 - Basement







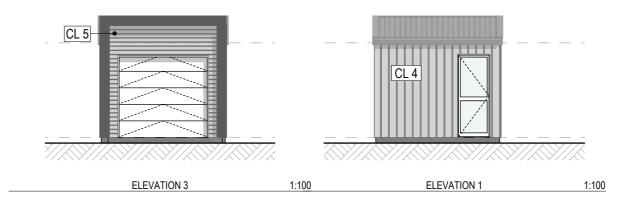
Elevation Reference

1:100





Northwest Developments Limited



UNIT TYPE G1.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1



Fair Faced

Honed

STANDING SEAM METAL CLADDING

CL 2

Kohl

Fireash

Cream



BRICK VENEER - PAINTED





RUSTICATED WEATHERBOARD -VERTICAL





RUSTICATED WEATHERBOARD -HORIZONTAL

CL 5



FIBRE CEMENT BOARD - VERTICAL

CL 6



FIBRE CEMENT PANELS

CL 7



PAINT AND STAIN COLOUR PALETTE

