

Sheet List

Sheet List

Sheet List

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TYPE I2	
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18 SCOTT ROAD HOUSING

18 Scott Road
Hobsonville Auckland

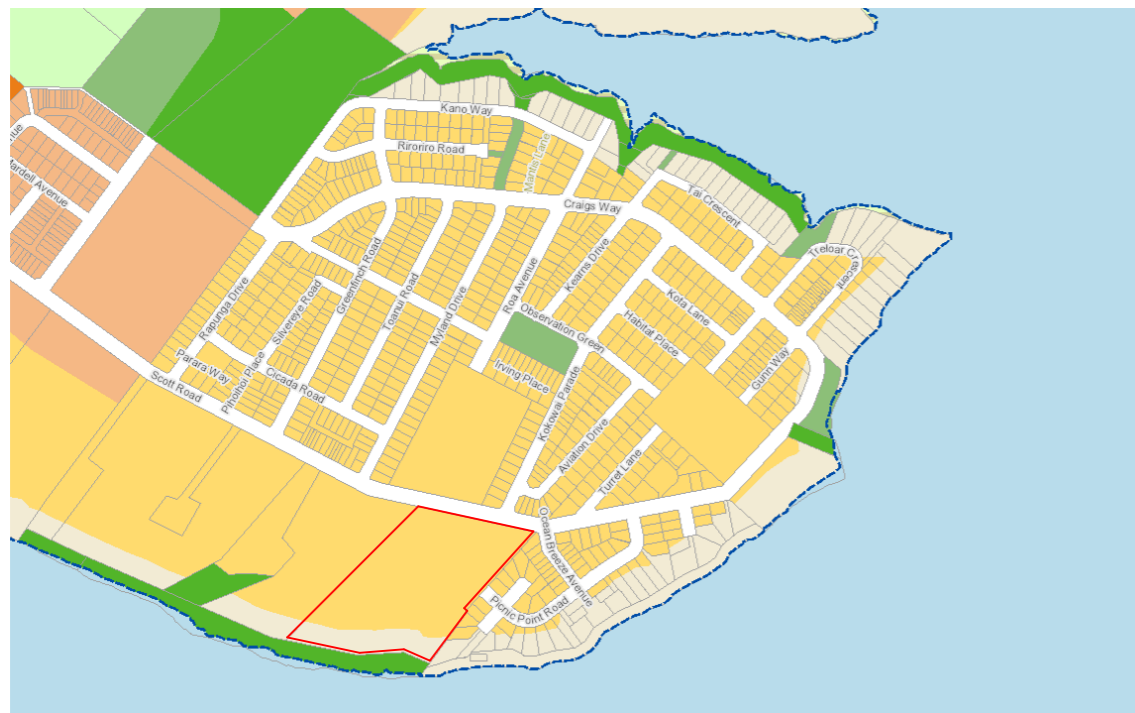
Resource Consent Application For North West Developments



SITE AREA LOCATION PLAN



SITE LOCATION PLAN



SITE ASSESSMENT

Legal Description: LOT 3 DP 89750
 Address: 18 Scott Road Hobsonville,
 Auckland 0618
 Site Area: 3.5516 HA
 Zone: Residential - Mixed Housing Suburban Zone
 Residential - Single House Zone

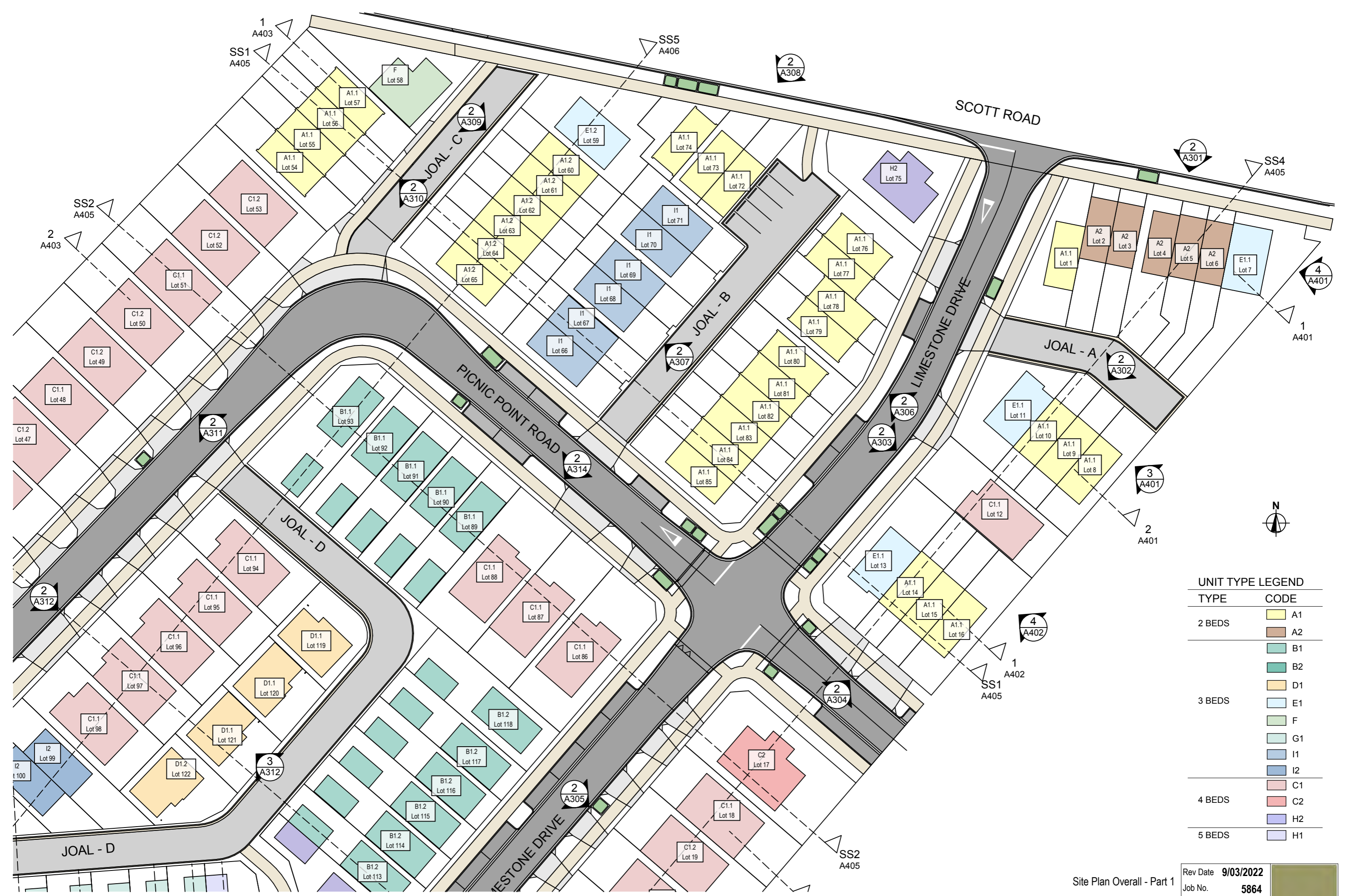
Site Location Plan

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A001	B

Scale @A3:







UNIT TYPE LEGEND	
TYPE	CODE
2 BEDS	A1
	A2
	B1
	B2
3 BEDS	D1
	E1
	F
	G1
4 BEDS	C1
	C2
5 BEDS	H2
	H1

Level 1, Waikato Timber Building
 152 Fanshawe Street, Auckland 1161
 PO Box 5219
 Victoria Street West
 Auckland 1142, New Zealand
 +64 9 373 3828 www.walkerresidentialarchitects.com
 walkerresidentialarchitects ltd.

Northwest Developments Limited

18 Scott Road

Site Plan Overall - Part 1

Rev Date **9/03/2022**
 Job No. **5864**
 Sheet No. **A003** Rev. **B**



Scale @A3: 1:500

UNIT SUMMARY AND COMPLIANCE

Lot Number	Site Area	Building Information														Areas										Impervious										Building Coverage				Landscape area				Front yard landscaping				Outlook							
		Unit Type	Bed	Bathroom	Ensuite	Toilet	Larder	Wardrobes	Storage	Study	Lounge	Humper	Garage	Car Pad	Blamest Area	Ground Floor Area	Level 1 Area	Roof Area	Gangway Area	Gangway Roof	Density	Affordable housing	Building height	HETB	Alternative HETB	West Setback Front	West Setback Side	Common walls	Driveway (East Roof)	Pathways Jam Wide	Total Impervious	Max Allowed	Proposed	Complies	Building coverage	Max Allowed	Proposed	Complies	Landscape area	Min Required	Proposed	Complies	Landscaped front yard	Total front yard	Min required	Proposed	Complies	Max Living Area	Principal Bed 3.2m	Other Bedrooms 2.1m	20m ² outdoor living				
1	153	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	44.61	47.21	47.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	13	1.56	62.46	60%	40.82%	YES	44.61	40%	29.16%	YES	90.94	40%	59.2%	YES	20.89	32.56	50%	64.16%	YES	YES	YES	N/A	YES	YES	YES	N/A	YES	
2	96	AI.2	2	1	0	1	1	2	1	0	0	0	1	0	39.9	43.68	43.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	13	2.6	59.95	60%	61.98%	NO	39.9	40%	41.56%	NO	36.50	40%	38.0%	NO	4.85	9.8	50%	49.49%	NO	YES	YES	N/A	YES	YES	N/A	YES		
3	96	AI.2	2	1	0	1	1	2	1	0	0	0	1	0	39.9	43.68	43.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	15.6	2.28	61.78	60%	44.45%	YES	39.9	40%	28.71%	YES	77.22	40%	55.6%	YES	5.49	10.63	50%	51.65%	YES	YES	YES	N/A	YES	YES	N/A	YES		
4	139	AI.2	2	1	0	1	1	2	1	0	0	0	1	0	39.9	43.68	43.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	15.6	2.56	62.06	60%	62.06%	NO	39.9	40%	39.90%	YES	37.94	40%	37.9%	NO	4.8	9.8	50%	48.98%	NO	YES	YES	N/A	YES	YES	N/A	YES		
5	100	AI.2	2	1	0	1	1	2	1	0	0	0	1	0	39.9	43.68	43.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	15.6	2.39	61.89	60%	58.39%	YES	39.9	40%	37.64%	YES	44.1	40%	41.6%	YES	4.8	9.8	50%	49.98%	NO	YES	YES	N/A	YES	YES	N/A	YES		
6	106	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	39.9	43.68	43.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	15.6	2.56	62.06	60%	62.06%	NO	39.9	40%	39.90%	YES	37.94	40%	37.9%	NO	4.8	9.8	50%	48.98%	NO	YES	YES	N/A	YES	YES	N/A	YES		
7	222	AI.1	3	1	1	1	1	3	2	0	0	0	0	0	60.27	63.13	63.9	0	0	YES	N/A	YES	NO	YES	3m	1m	YES	15.6	1.56	61.06	60%	36.51%	YES	60.27	40%	27.15%	YES	140.94	40%	63.5%	YES	13.73	17.79	50%	77.18%	YES	YES	YES	N/A	YES	YES	N/A	YES		
8	137	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	44.61	47.21	47.9	0	0	YES	N/A	YES	NO	YES	3m	1m	YES	13	3.2	64.1	60%	46.79%	YES	44.61	40%	32.56%	YES	72.90	40%	53.2%	YES	N/A	N/A	50%	N/A	N/A	YES	YES	YES	N/A	YES				
9	96	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	44.61	47.21	47.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	13	3.2	64.1	60%	67.47%	NO	44.61	40%	44.96%	NO	30.90	40%	32.3%	NO	N/A	N/A	50%	N/A	N/A	YES	YES	YES	N/A	YES				
10	95	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	44.61	47.21	47.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	13	3.5	64.4	60%	67.79%	NO	44.61	40%	46.96%	NO	30.60	40%	32.2%	NO	N/A	N/A	50%	N/A	N/A	YES	YES	YES	N/A	YES				
11	181	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	44.61	47.21	47.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	18.98	3.5	70.38	60%	38.88%	YES	44.61	40%	24.65%	YES	110.62	40%	61.1%	YES	52.44	67.77	50%	77.38%	YES	YES	YES	N/A	YES					
12	204	AI.1	4	1	2	0	1	5	3	1	0	1	1	0	79.9	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	18.26	3.5	105.66	60%	51.79%	YES	79.9	40%	39.17%	YES	98.34	40%	48.7%	YES	27.84	48.39	50%	57.53%	YES	YES	YES	N/A	YES					
13	196	AI.1	3	1	1	1	2	2	1	0	0	1	0	0	60.27	63.13	63.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	13	2.3	79.2	60%	40.41%	YES	60.27	40%	30.75%	YES	138.80	40%	59.8%	YES	5.9	32.56	50%	64.20%	YES	YES	YES	N/A	YES					
14	108	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	44.61	47.21	47.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	13	2.2	63.1	60%	58.43%	YES	44.61	40%	41.31%	NO	44.90	40%	41.6%	YES	8.24	23.8	50%	34.62%	NO	YES	YES	N/A	YES					
15	108	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	44.61	47.21	47.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	13	2.1	63	60%	58.33%	YES	44.61	40%	41.31%	NO	45.00	40%	41.7%	YES	8.24	24.7	50%	33.36%	NO	YES	YES	N/A	YES					
16	162	AI.1	2	1	0	1	1	2	1	0	0	0	1	0	44.61	47.21	47.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	YES	13	2.1	63	60%	38.99%	YES	44.61	40%	27.54%	YES	99.00	40%	61.1%	YES	18.64	17.9	50%	49.18%	NO	YES	YES	N/A	YES					
17	306	AI.2	4	1	2	0	1	4	3	1	0	0	1	0	88.41	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	20.5	3	107.4	60%	35.10%	YES	88.41	40%	28.89%	YES	198.60	40%	64.9%	YES	53.88	74.87	50%	71.96%	YES	YES	YES	N/A	YES					
18	204	AI.1	4	1	2	0	1	5	3	1	0	1	1	0	79.9	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	20.5	3	107.4	60%	52.65%	YES	79.9	40%	39.17%	YES	96.60	40%	47.4%	YES	24.57	46.27	50%	53.10%	YES	YES	YES	N/A	YES					
19	208	AI.1	4	1	2	0	1	5	3	1	0	1	1	0	79.9	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	20.5	3	107.4	60%	51.83%	YES	79.9	40%	34.41%	YES	100.60	40%	48.4%	YES	24.3	46.2	50%	53.66%	YES	YES	YES	N/A	YES					
20	226	AI.1	4	1	2	0	1	5	3	1	0	1	1	0	79.9	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	20.5	3	107.4	60%	47.62%	YES	79.9	40%	35.35%	YES	118.60	40%	52.5%	YES	24.54	46.2	50%	53.12%	YES	YES	YES	N/A	YES					
21	234	AI.1	4	1	2	0	1	5	3	1	0	1	1	0	79.9	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	20.5	3	107.4	60%	45.90%	YES	79.9	40%	34.15%	YES	126.60	40%	54.1%	YES	24.32	46.3	50%	52.53%	YES	YES	YES	N/A	YES					
22	241	AI.1	4	1	2	0	1	5	3	1	0	1	1	0	79.9	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	20.5	3	107.4	60%	44.56%	YES	79.9	40%	33.15%	YES	133.60	40%	55.4%	YES	24.1	46.5	50%	51.83%	YES	YES	YES	N/A	YES					
23	245	AI.1	4	1	2	0	1	5	3	1	0	1	1	0	79.9	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	20.5	3	107.4	60%	43.31%	YES	79.9	40%	32.22%	YES	140.60	40%	56.7%	YES	24.3	46.3	50%	52.48%	YES	YES	YES	N/A	YES					
24	255	AI.1	4	1	2	0	1	5	3	1	0	1	1	0	79.9	83.25	83.9	0	0	YES	N/A	YES	YES	N/A	3m	1m	NO	20.5	3	107.4	60%	42.12%	YES	79.9	40%	31.33%	YES	147.60	40%	57.9%	YES	24.7	46.1	50%	53.58%	YES	YES	YES	N/A	YES					
25	417	VACANT	N/A	0	0	0	0	0	0	0	0	0	0	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0	0	0	60%	0.00%	N/A	0.00	40%	0.00%	N/A	N/A	40%	N/A	N/A	0	0	50%	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A		
26	591	VACANT	N/A	0	0	0	0	0	0	0	0	0	0	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0	0	0	60%	0.00%	N/A	0.00	40%	0.00%	N/A	N/A	40%	N/A	N/A	0	0	50%	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
27	626	VACANT	N/A	0	0	0	0	0	0	0	0	0	0	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0	0	0	60%	0.00%	N/A	0.00	40%	0.00%	N/A	N/A	40%	N/A	N/A	0	0	50%	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
28	603	VACANT	N/A	0	0	0	0	0	0	0	0	0	0	0	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0	0	0	60%	0.00%	N/A</																						

PUBLIC

- Street Berm
Grass or planting
- Footpath
Concrete
- Road
Asphalt finish
- JOAL
Textured concrete or cobblestone
- Ramp
Concrete

PRIVATE

- Building
- Driveway/parking pad
- Permeable paving
- Laneway
- Paving
- Deck
- Civils retaining
Refer to civils plan

LANDSCAPING

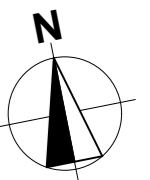
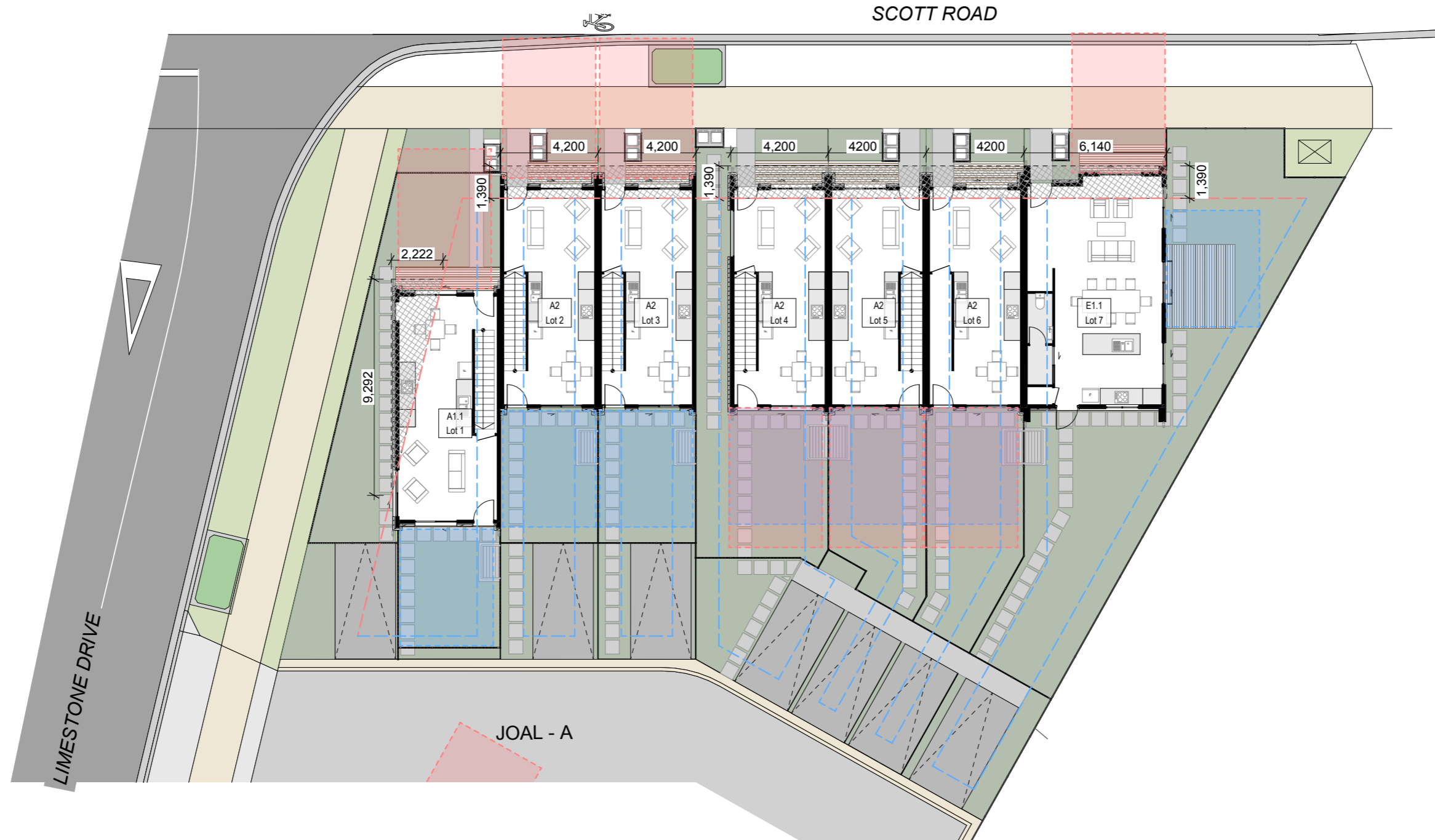
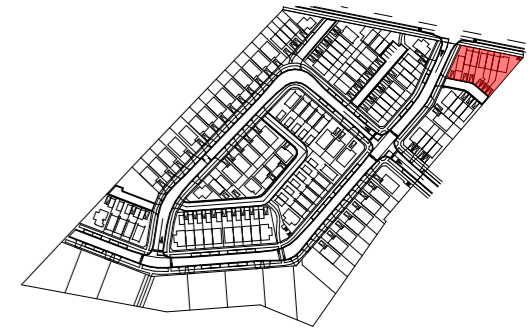
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

- 1x1m Secondary bedroom outlook
- 3x3m Primary bedroom outlook
- 4x6m Primary living outlook
- 20m² Private outdoor space
- Compliance infringement
- 1m side and rear yard setback
- 3m front yard setback

COMPLIANCE INFRINGEMENTS:

Front yard setback 3m - Lots 1 - 7



Ground Floor - Lot 1 - 7

Rev Date	9/03/2022
Job No.	5864
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Scale @A3: 1:200



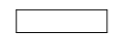




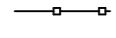

Northwest Developments Limited

18 Scott Road

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete



PRIVATE

-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

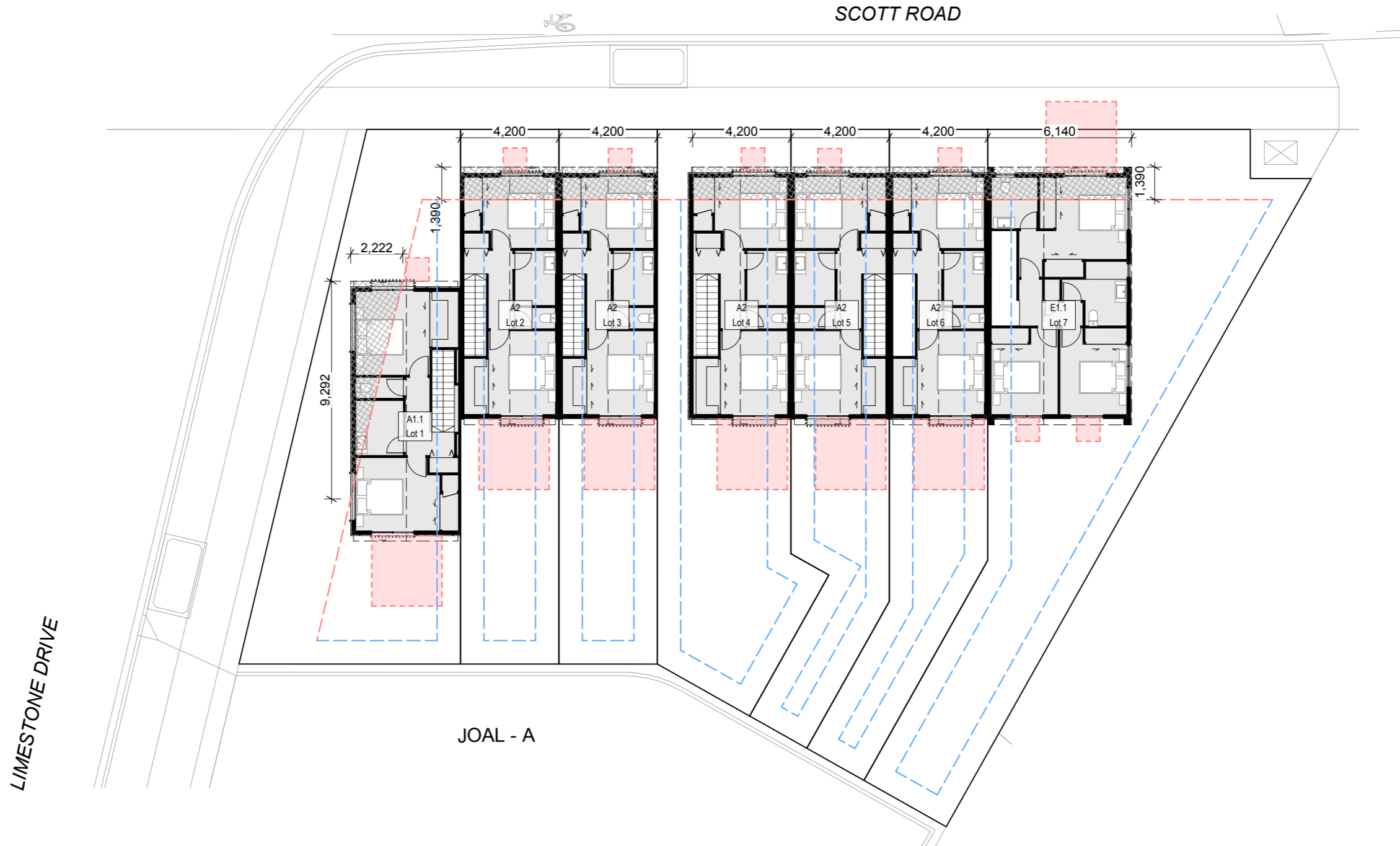
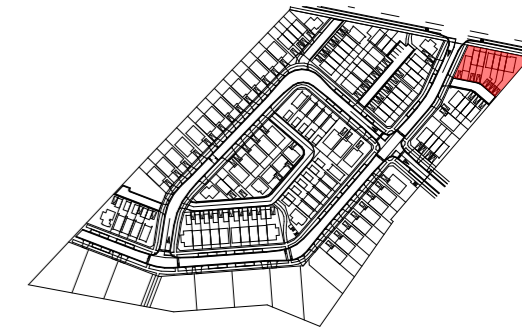
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COMPLIANCE INFRINGEMENTS:

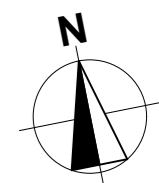
Front yard setback 3m - Lots 1 - 7



LIMESTONE DRIVE

SCOTT ROAD

JOAL - A



Upper Floor - Lot 1 - 7

Rev Date	9/03/2022
Job No.	5864
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A008	B






Scale @A3: 1:200



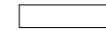






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LANDSCAPING

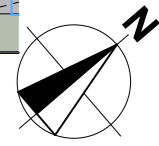
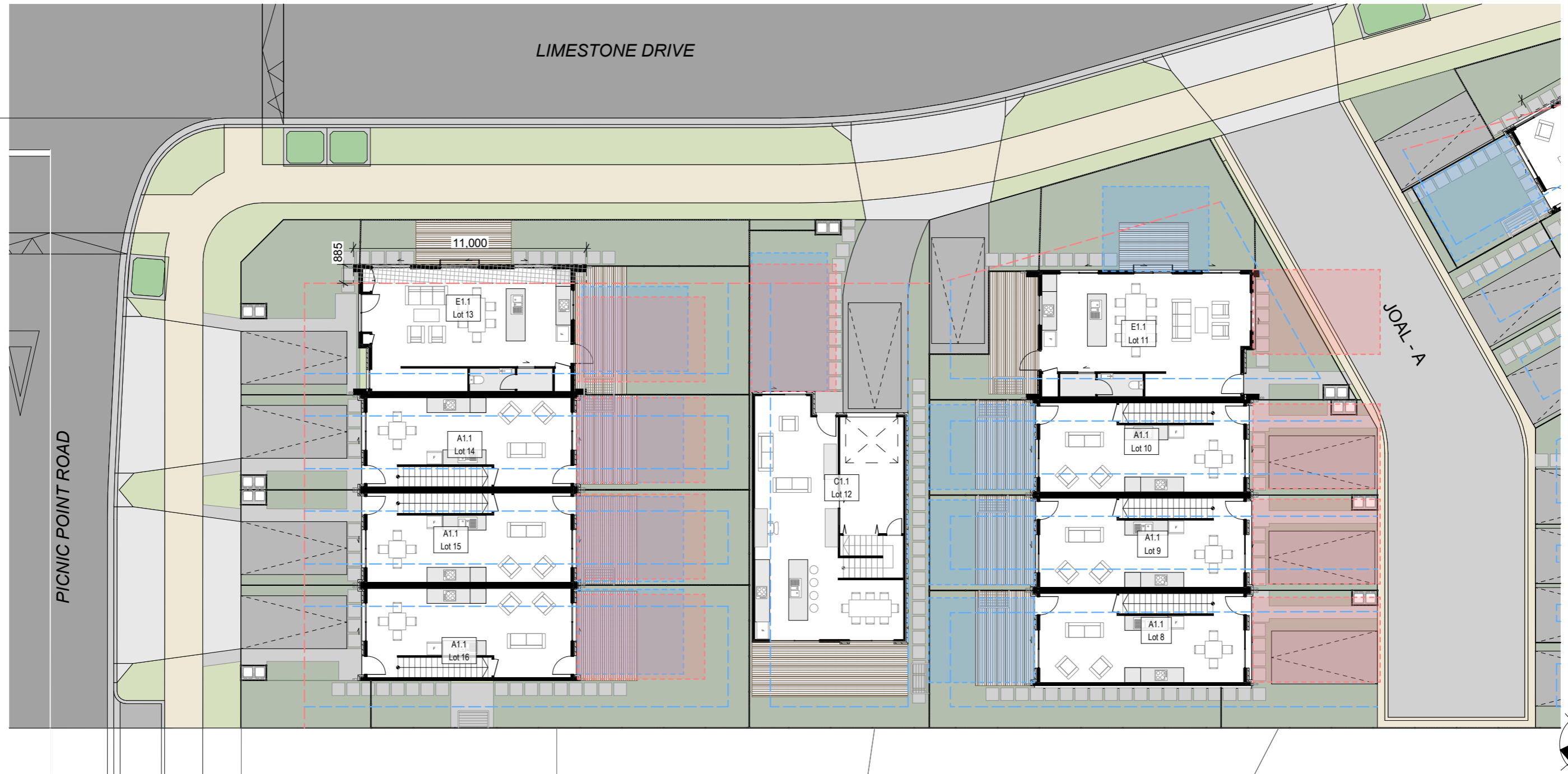
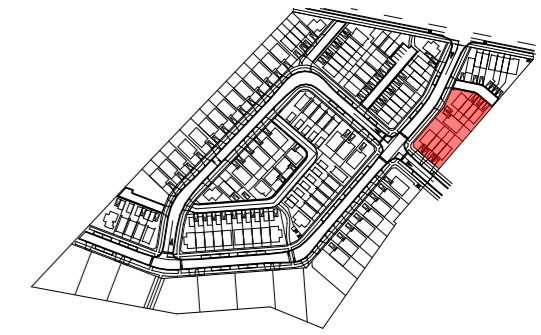
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback

COMPLIANCE INFRINGEMENTS:

Front yard setback 3m - Lot 13



Northwest Developments Limited

18 Scott Road

Ground Floor - Lot 8 - 16

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. Rev.

A009 B

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Scale @A3: 1:200

PUBLIC

- Street Berm
Grass or planting
- Footpath
Concrete
- Road
Asphalt finish
- JOAL
Textured concrete or cobblestone
- Ramp
Concrete

PRIVATE

- Building
- Driveway/parking pad
- Permeable paving
- Laneway
- Paving
- Deck
- Civils retaining
Refer to civils plan

LANDSCAPING

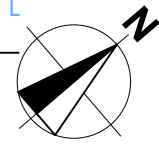
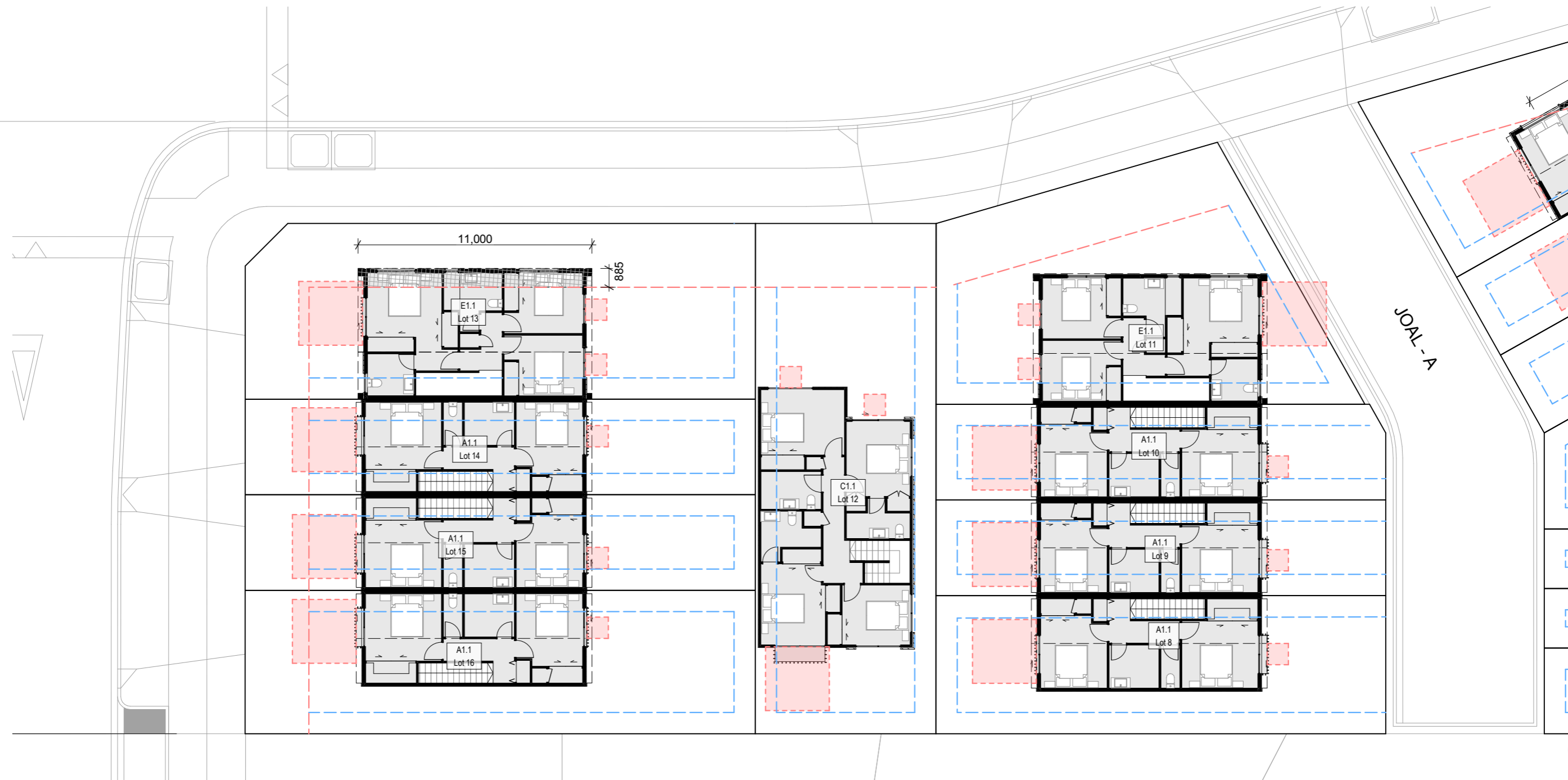
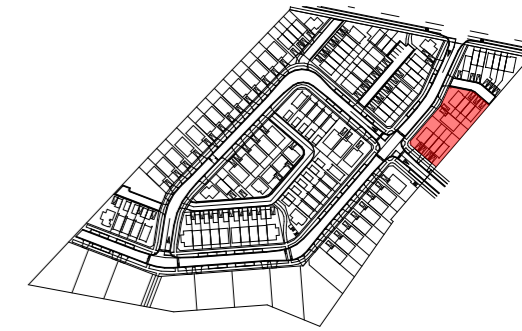
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

- 1x1m Secondary bedroom outlook
- 3x3m Primary bedroom outlook
- 4x6m Primary living outlook
- 20m² Private outdoor space
- Compliance infringement
- 1m side and rear yard setback
- 3m front yard setback

COMPLIANCE INFRINGEMENTS:

Front yard setback 3m - Lot 13



Upper Floor - Lot 8 -16

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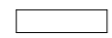




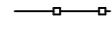

18 Scott Road

Scale @A3: 1:200

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete


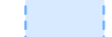
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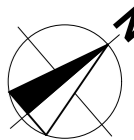
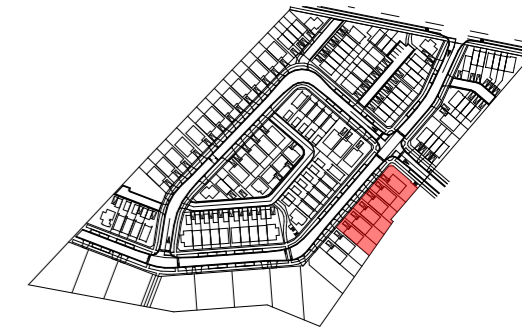
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



Ground Floor - Lot 17 - 22

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Scale @A3: 1:200

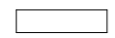




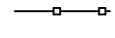

Northwest Developments Limited

18 Scott Road

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete






PRIVATE

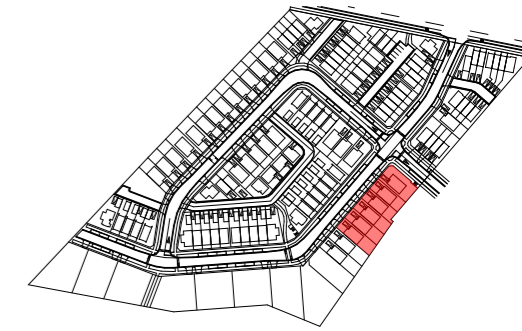
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

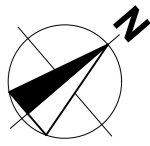
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



LIMESTONE DRIVE



Upper Floor - Lot 17 - 22

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Job No.	5864
Sheet No.	Rev.
A012	B






Scale @A3: 1:200



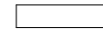






Northwest Developments Limited

18 Scott Road

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete



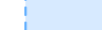


PRIVATE

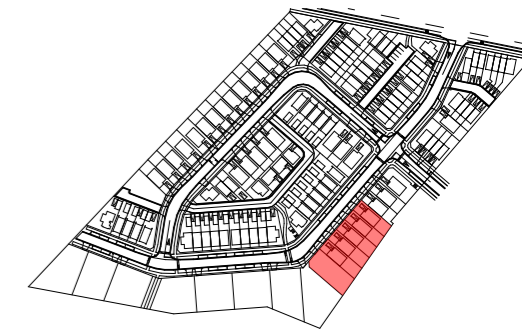
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

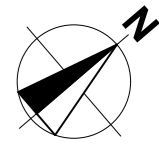
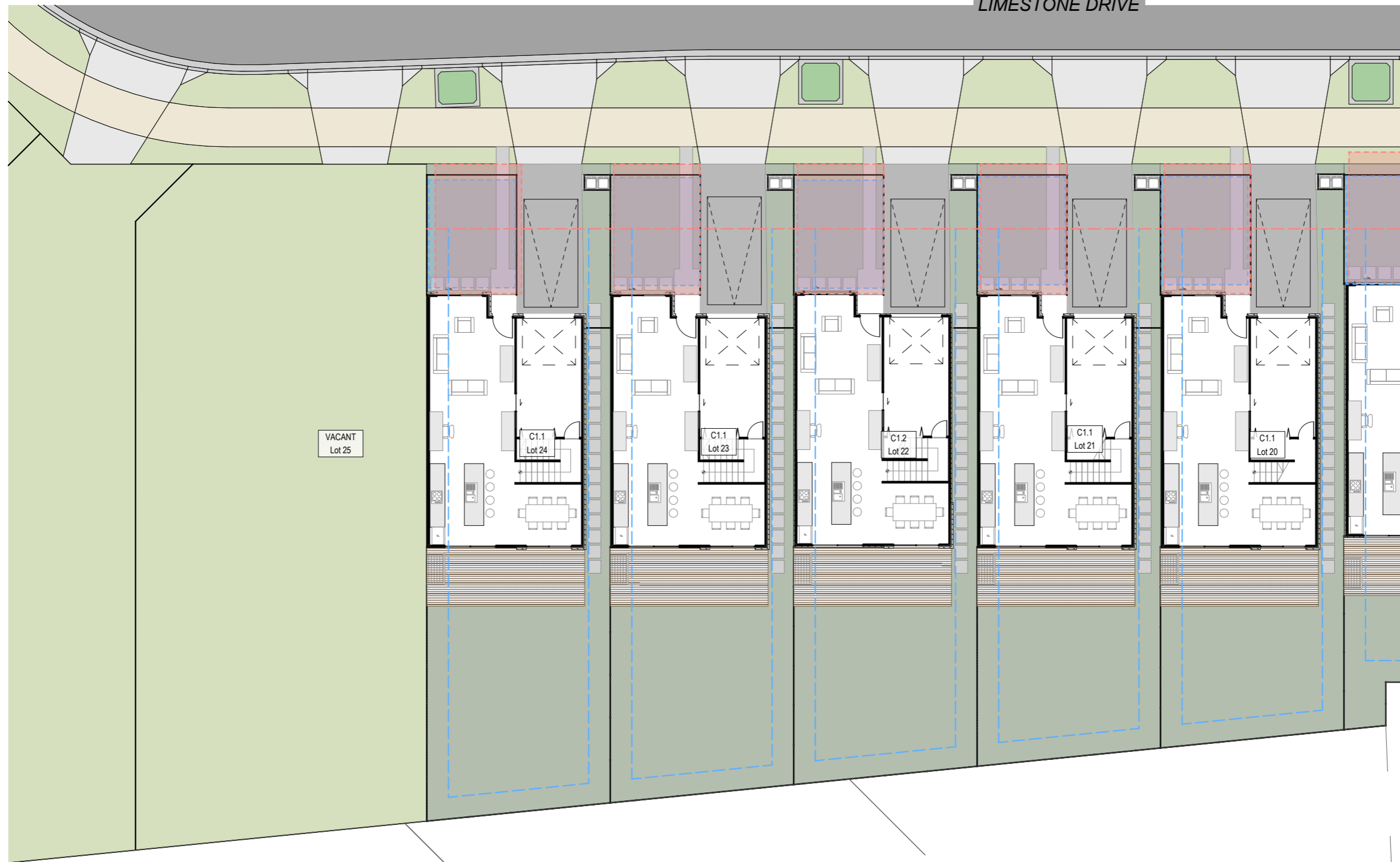
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



LIMESTONE DRIVE



Ground Floor - Lot 20 - 25

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A013	B



Northwest Developments Limited

18 Scott Road

Scale @A3: 1:200

Level 1, Wairu Timber Building
150 Fanshawe Street, Auckland 1141
PO Box 5219
Victoria Street West
Auckland 1142, New Zealand
+64 9 373 3828 www.walkerresidentialarchitects.com
walkerresidentialarchitects ltd.

PUBLIC

- Street Berm
Grass or planting
- Footpath
Concrete
- Road
Asphalt finish
- JOAL
Textured concrete or cobblestone
- Ramp
Concrete

PRIVATE

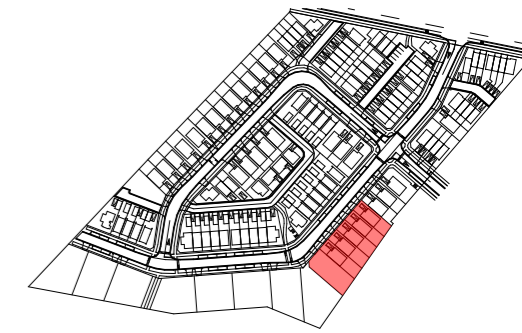
- Building
- Driveway/parking pad
- Permeable paving
- Laneway
- Paving
- Deck
- Civils retaining
Refer to civils plan

LANDSCAPING

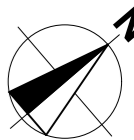
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

- 1x1m Secondary bedroom outlook
- 3x3m Primary bedroom outlook
- 4x6m Primary living outlook
- 20m² Private outdoor space
- Compliance infringement
- 1m side and rear yard setback
- 3m front yard setback



LIMESTONE DRIVE



Upper Floor - Lot 20 - 25

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A014	B
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Scale @A3: 1:200

Northwest Developments Limited

18 Scott Road

PUBLIC

- Street Berm
Grass or planting
- Footpath
Concrete
- Road
Asphalt finish
- JOAL
Textured concrete or cobblestone
- Ramp
Concrete

PRIVATE

- Building
- Driveway/parking pad
- Permeable paving
- Laneway
- Paving
- Deck
- Civils retaining
Refer to civils plan

LANDSCAPING

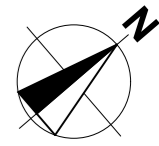
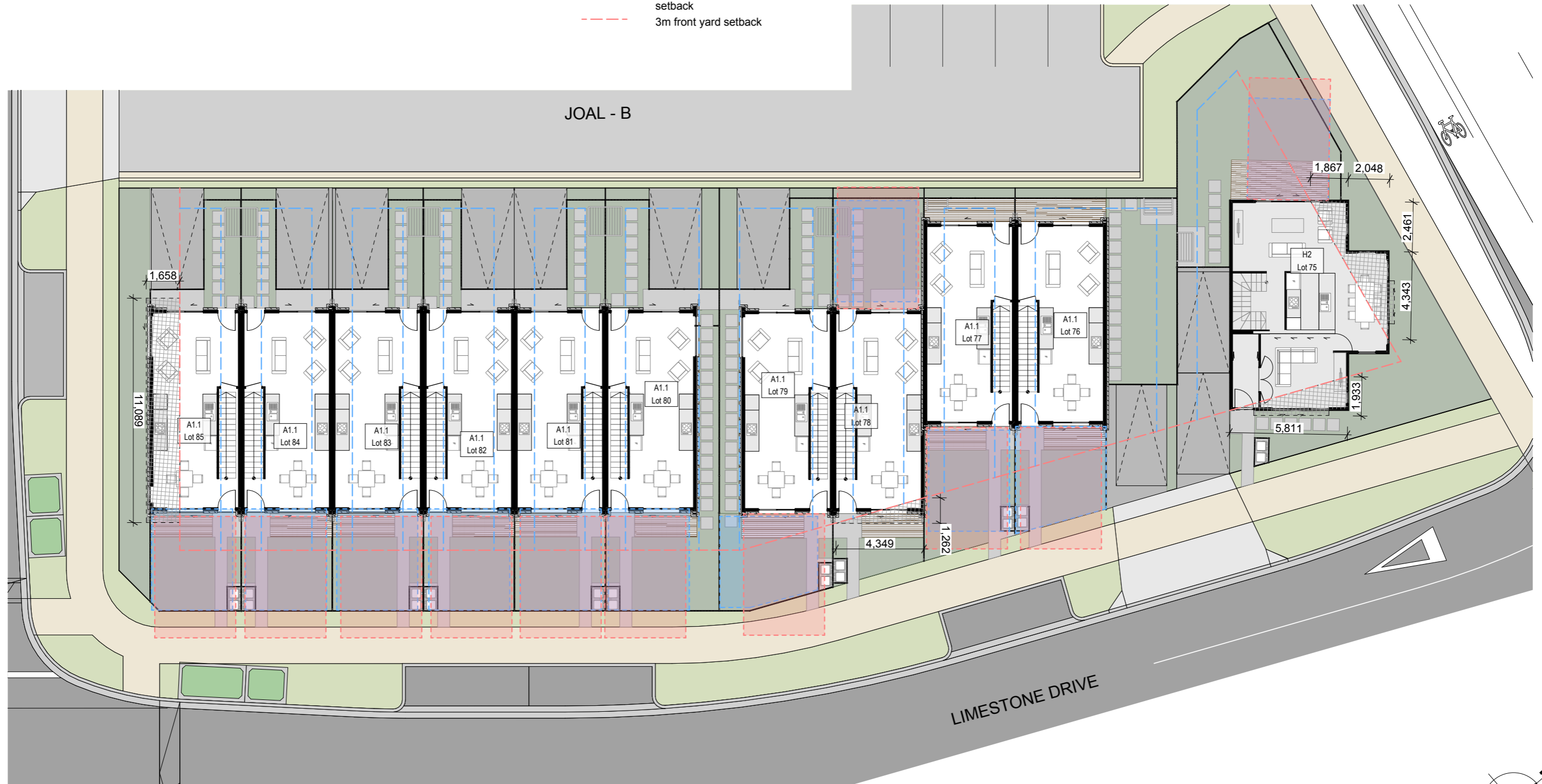
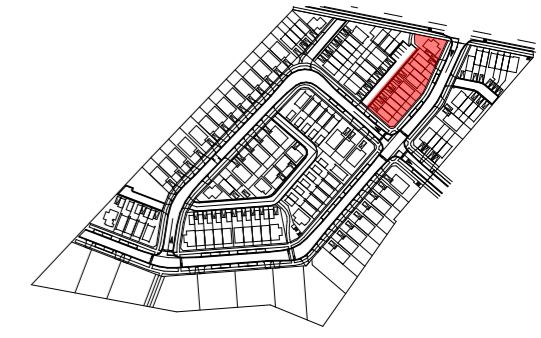
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

- 1x1m Secondary bedroom outlook
- 3x3m Primary bedroom outlook
- 4x6m Primary living outlook
- 20m² Private outdoor space
- Compliance infringement
- 1m side and rear yard setback
- 3m front yard setback

COMPLIANCE INFRINGEMENTS:

Front yard setback 3m - Lot 75,78,85



Ground Floor - Lot 75 - 85

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Job No.	5864
Sheet No.	Rev.
A015	B






Scale @A3: 1:200










Northwest Developments Limited

18 Scott Road

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete

PRIVATE

-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

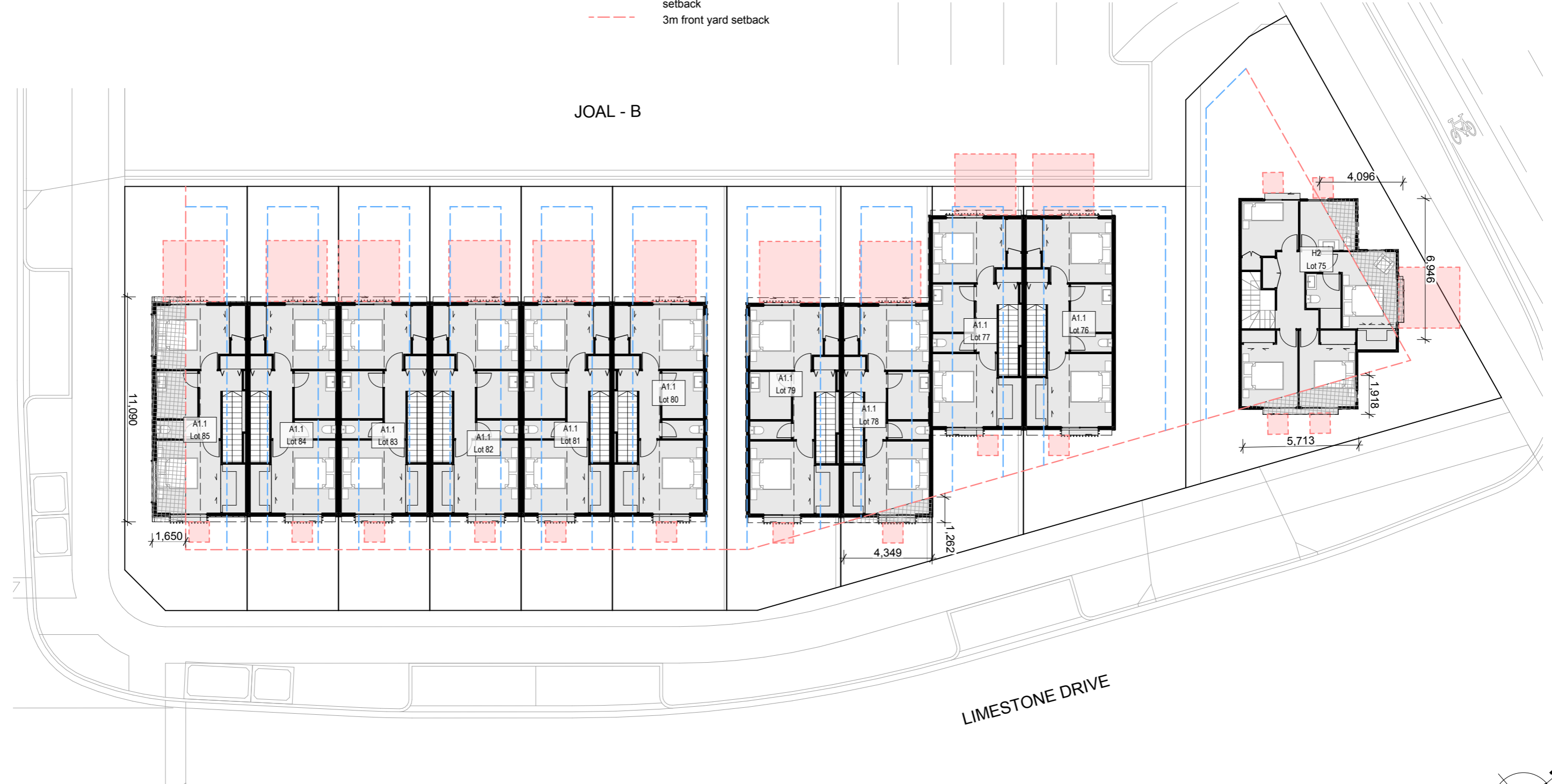
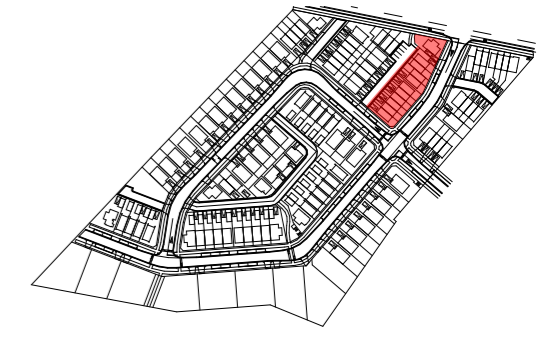
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

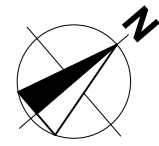
-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback

COMPLIANCE INFRINGEMENTS:






Front yard setback 3m - Lot 75,78,85



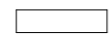




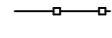

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
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PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete





PRIVATE




-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

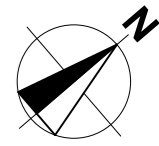
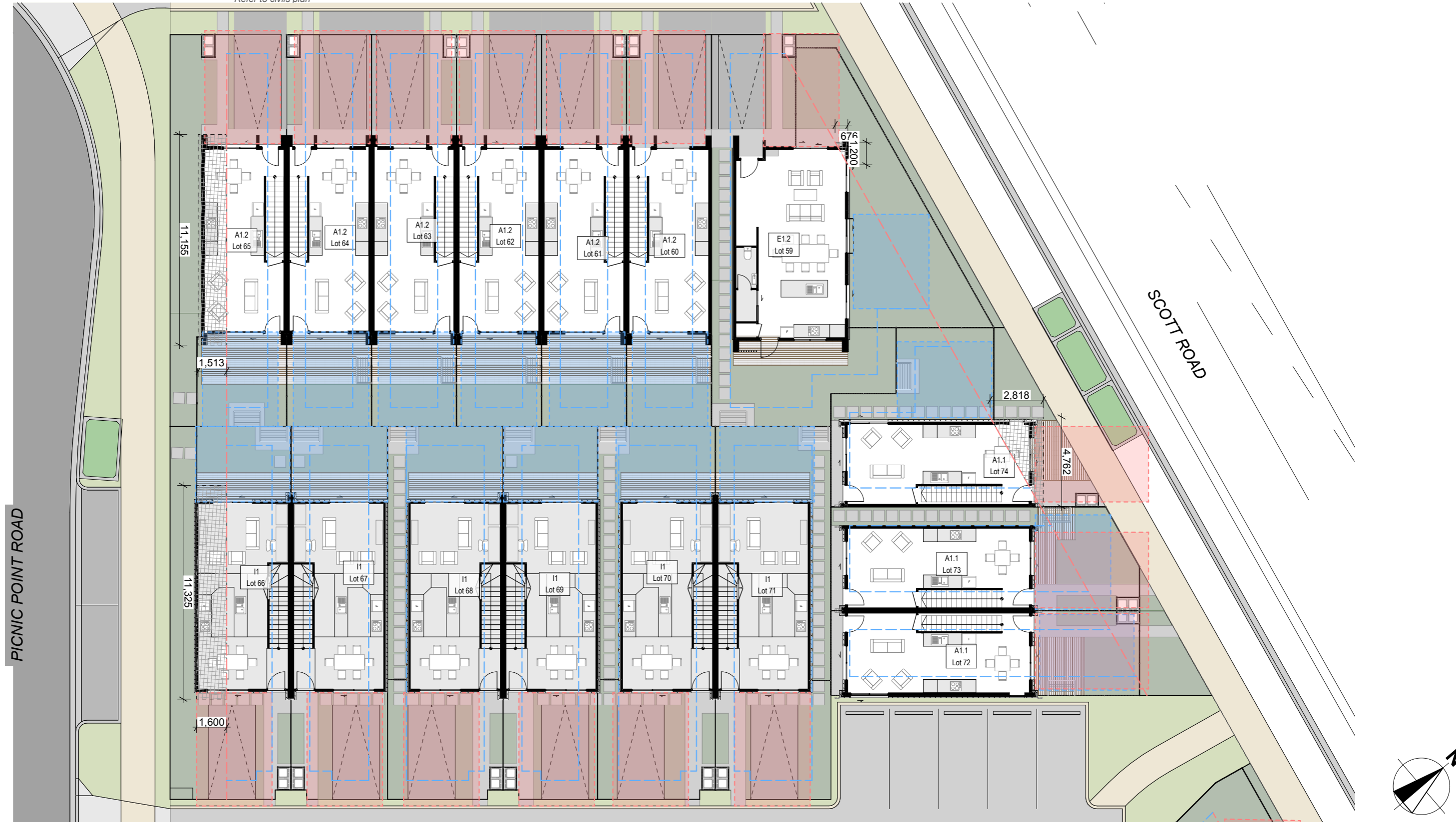
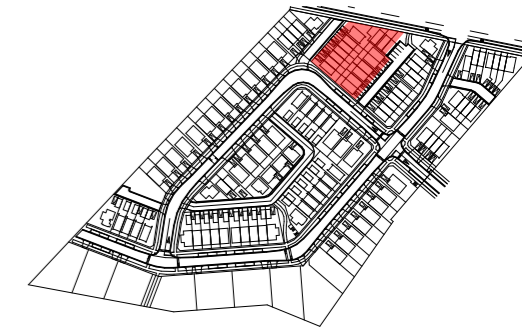
COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space

-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback

COMPLIANCE INFRINGEMENTS:

Front yard setback 3m - Lot 59,65,85,66,74



Ground Floor - Lot 59 - 74

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A017	B

Scale @A3: 1:200



Northwest Developments Limited

18 Scott Road

Level 1, Wairu Timber Building
152 Fanshawe Street, Auckland 1141
PO Box 5219
Victoria Street West
Auckland 1142, New Zealand
+64 9 373 3828 www.walkerresidentialarchitects.com
walkerresidentialarchitects ltd.

PUBLIC

- Street Berm
Grass or planting
- Footpath
Concrete
- Road
Asphalt finish
- JOAL
Textured concrete or cobblestone
- Ramp
Concrete

PRIVATE

- Building
- Driveway/parking pad
- Permeable paving
- Laneway
- Paving
- Deck
- Civils retaining
Refer to civils plan

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

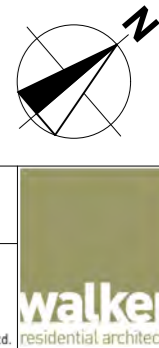
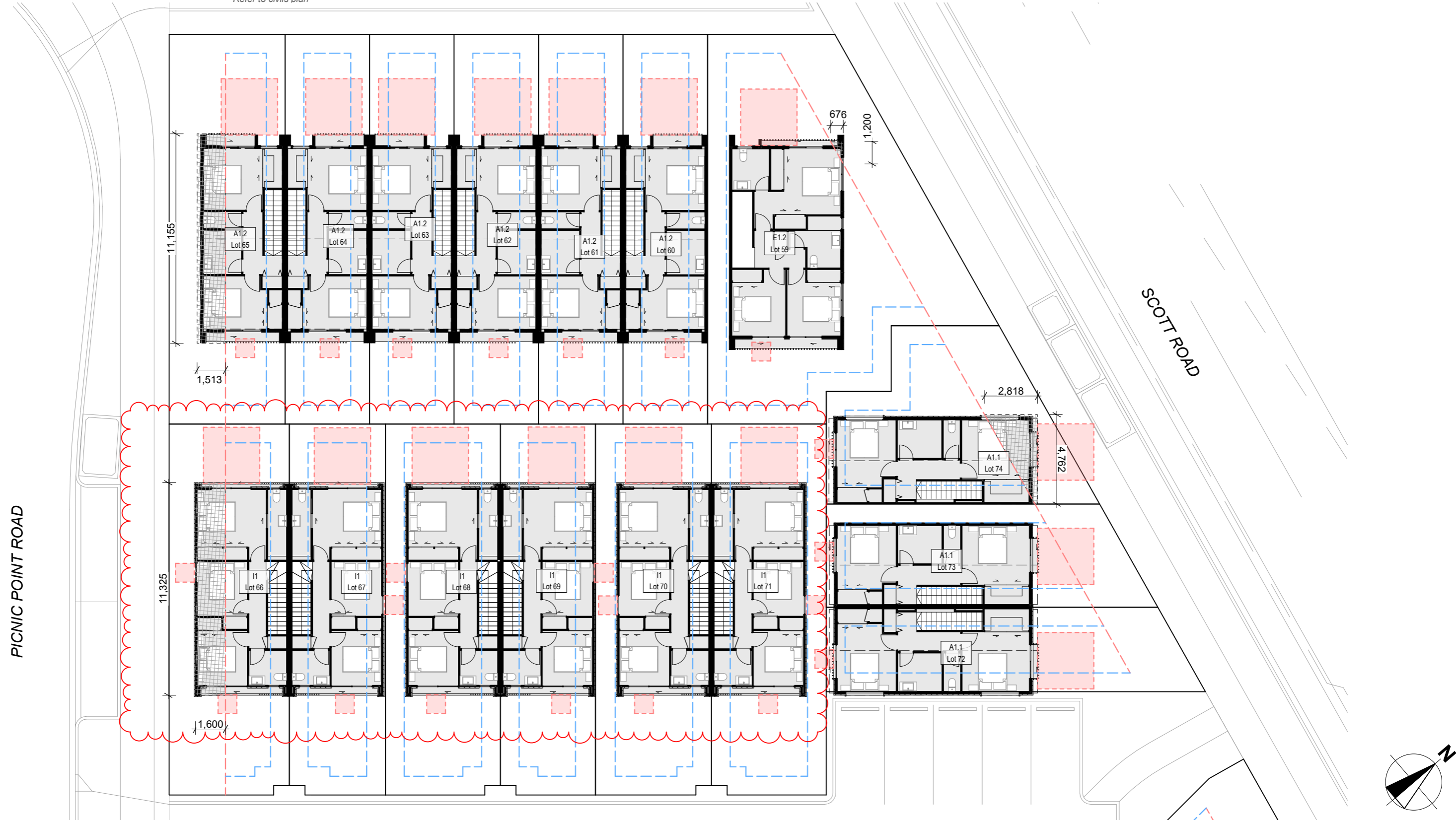
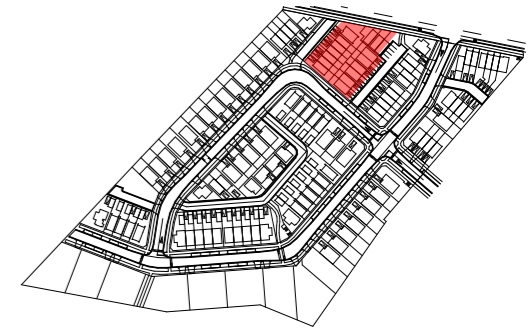
COMPLIANCE

- 1x1m Secondary bedroom outlook
- 3x3m Primary bedroom outlook
- 4x6m Primary living outlook
- 20m² Private outdoor space






- Compliance infringement
- 1m side and rear yard setback
- 3m front yard setback

COMPLIANCE INFRINGEMENTS:

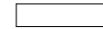






Front yard setback 3m - Lot 59,65,85,66,74



PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete


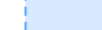


PRIVATE

-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

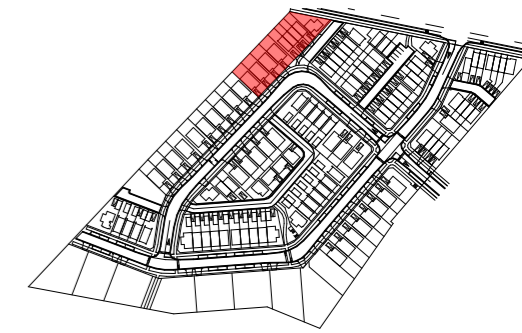
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback

COMPLIANCE INFRINGEMENTS:

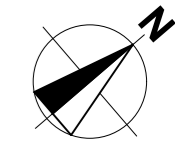
Front yard setback 3m - Lot 58








SCOTT ROAD

PICNIC POINT ROAD

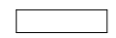




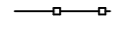

JOAL - C



PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete



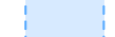


PRIVATE

-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

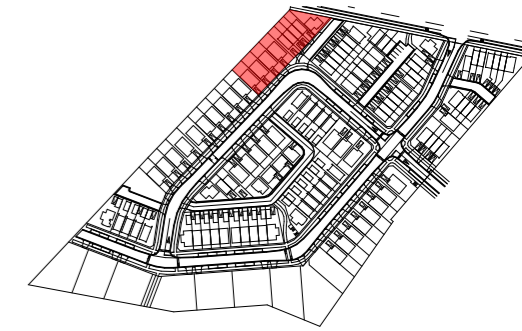
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback

COMPLIANCE INFRINGEMENTS:

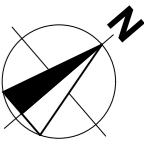
Front yard setback 3m - Lot 58








PICNIC POINT ROAD

JOAL - C

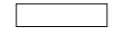






SCOTT ROAD



PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete

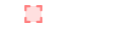
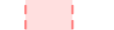
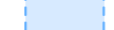

PRIVATE

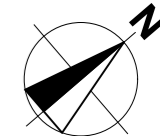
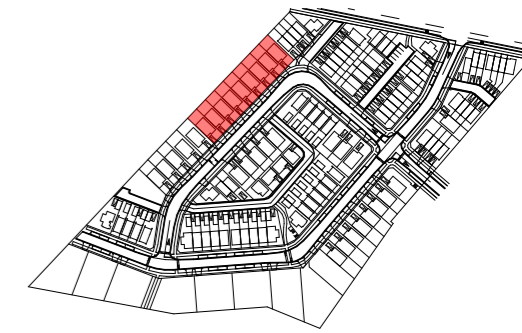
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



PICNIC POINT ROAD

Ground Floor - Lot 45 - 53

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. Rev.

A021 B






Scale @A3: 1:200










Northwest Developments Limited

18 Scott Road

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete







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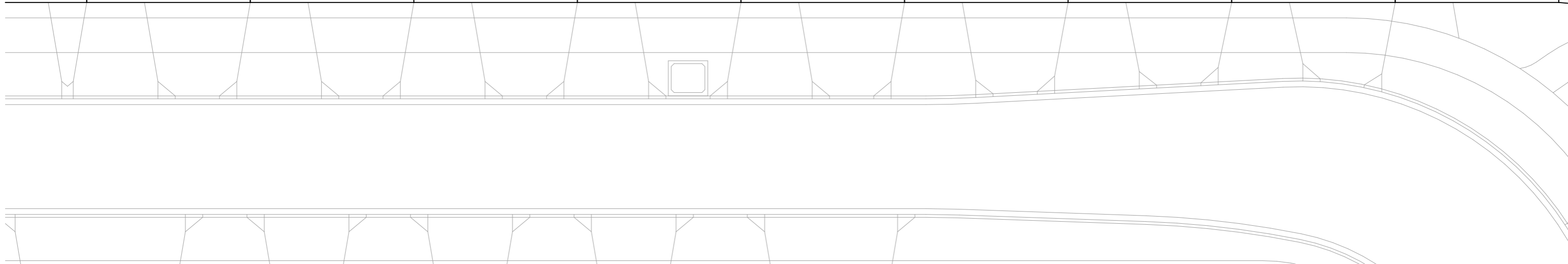
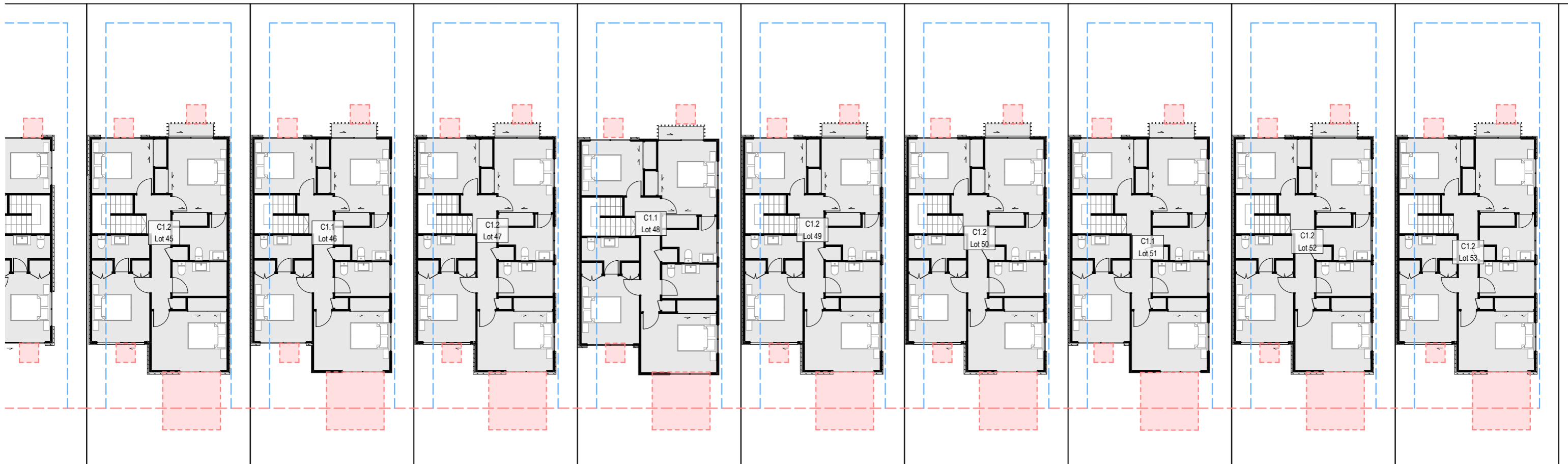
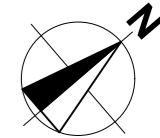
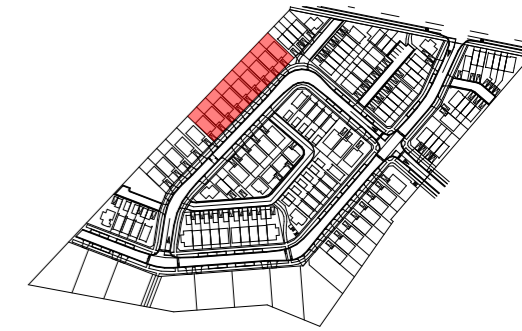
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING






Refer to LASF landscape design for soft landscaping.

COMPLIANCE

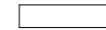






-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete

PRIVATE

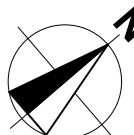
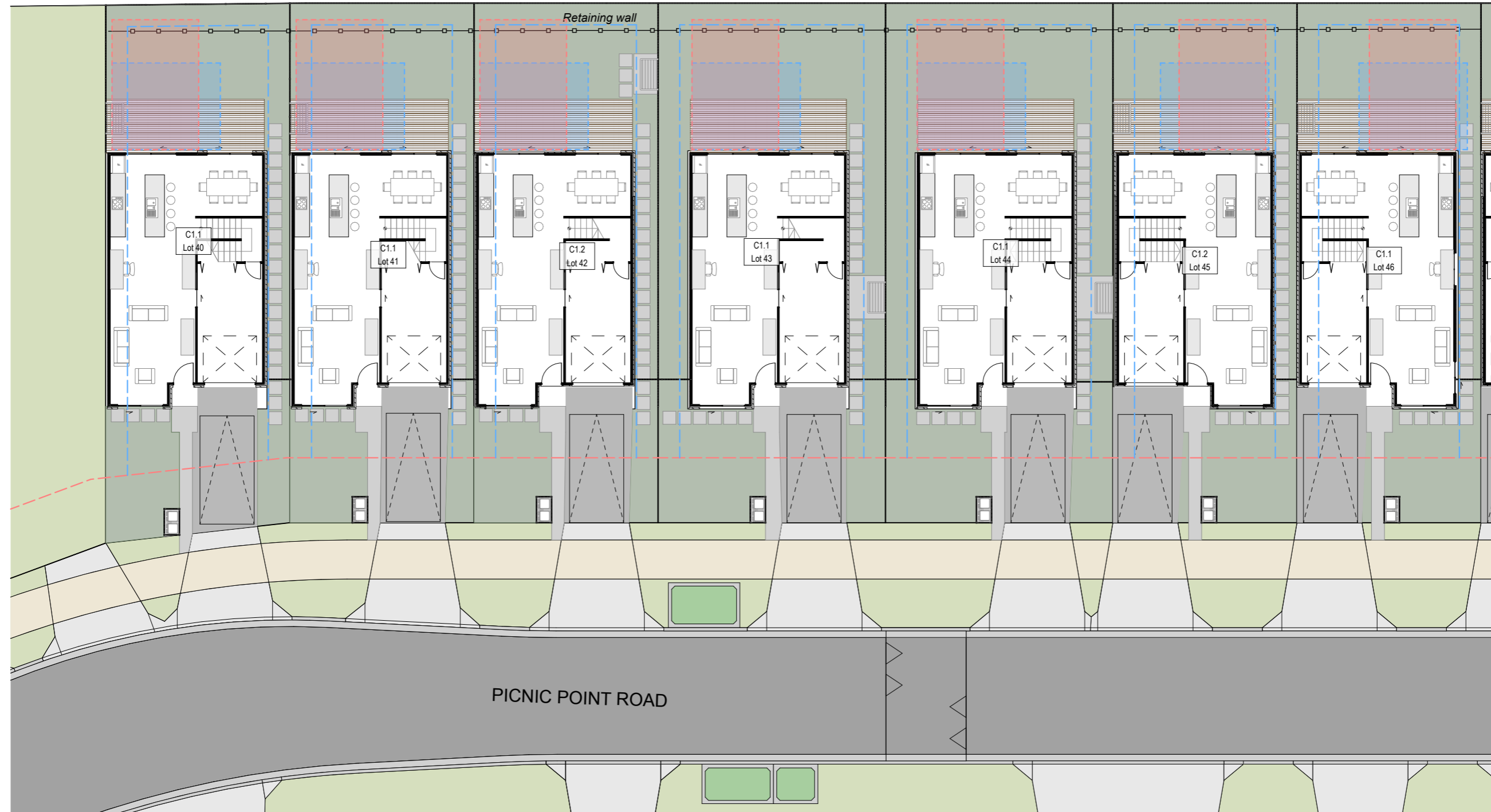
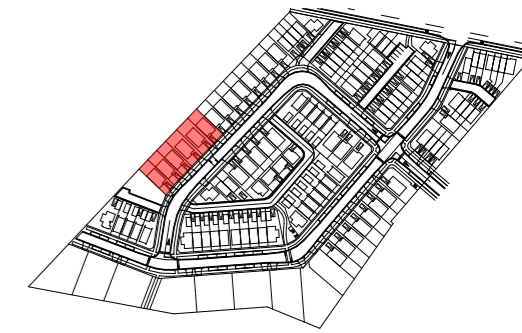
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



Ground Floor - Lot 40 - 46

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A023	B
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






18 Scott Road

Scale @A3: 1:200

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete

PRIVATE

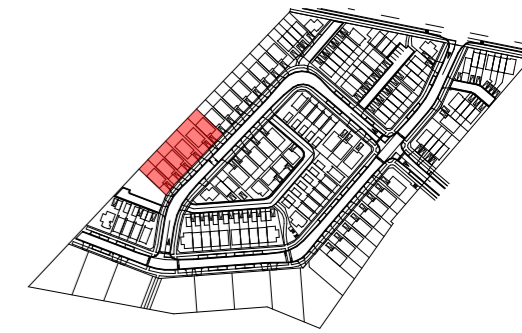
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

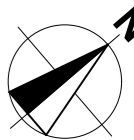
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



PICNIC POINT ROAD



Upper Floor - Lot 40 - 46

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A024	B
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Scale @A3: 1:200

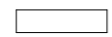




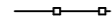

Northwest Developments Limited

18 Scott Road

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp








PRIVATE

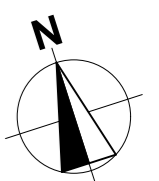
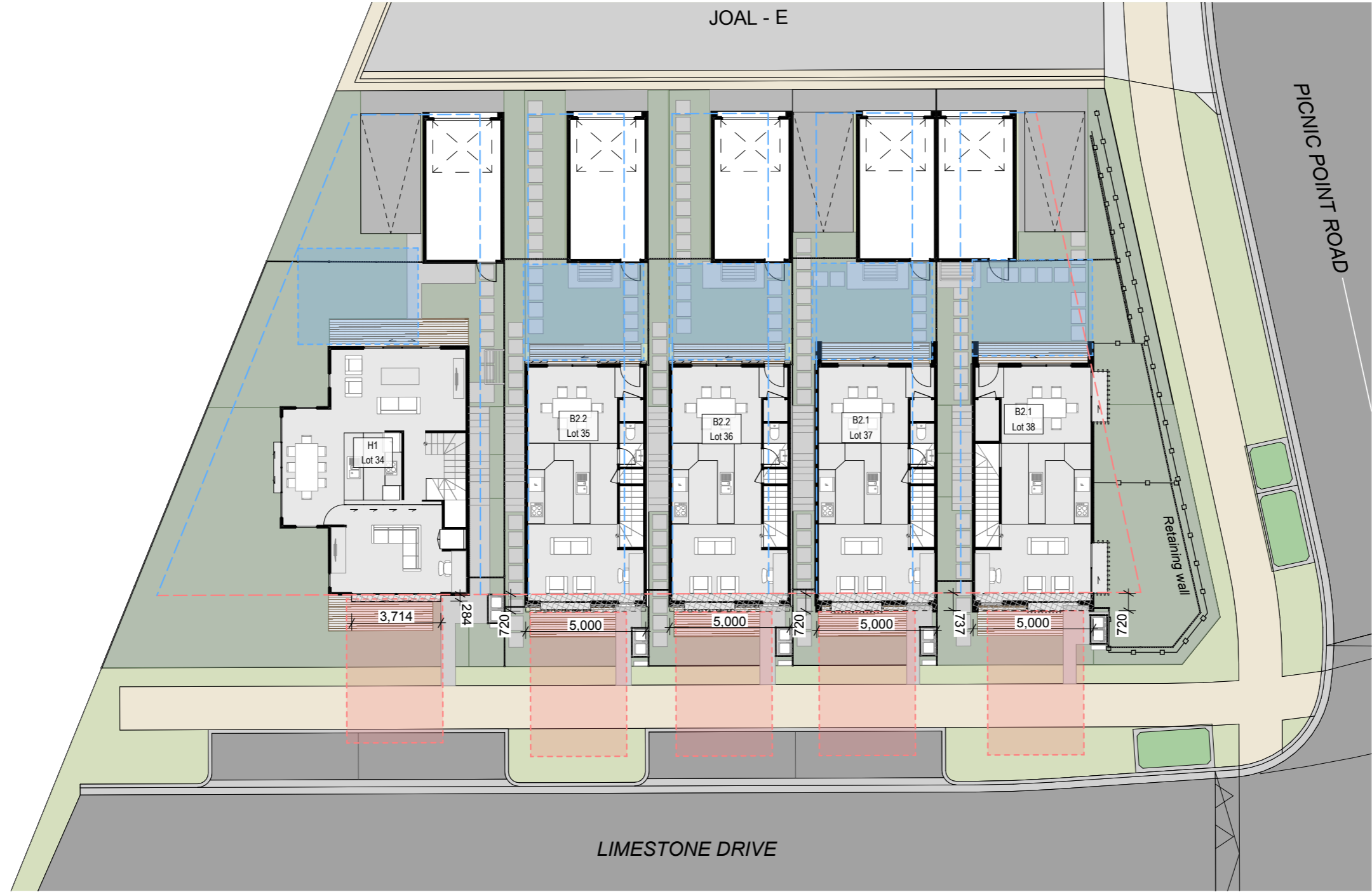
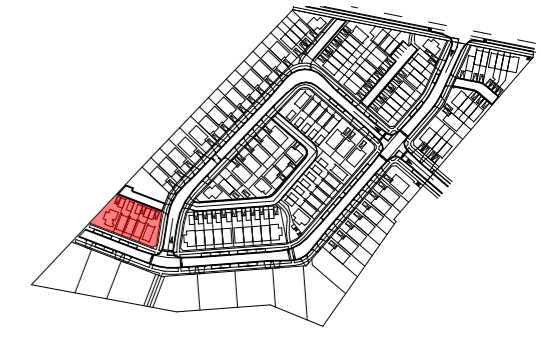
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining

LANDSCAPING






Refer to LASF landscape design for soft landscaping.

COMPLIANCE

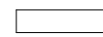




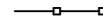

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp








PRIVATE

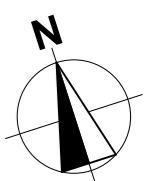
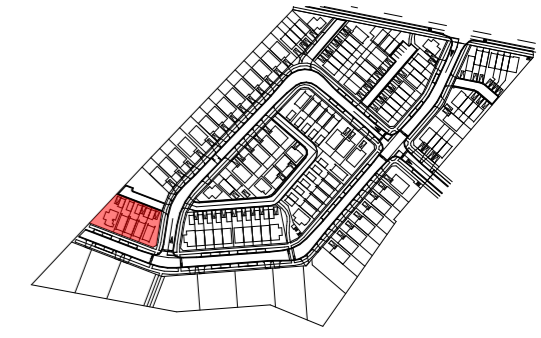
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



Northwest Developments Limited

18 Scott Road

Upper Floor - Lot 34 - 38






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Job No.	5864
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A026	B

Scale @A3: 1:200

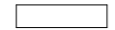








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Victoria Street West
Auckland 1142, New Zealand
+64 9 373 3828 www.walkerresidentialarchitects.com
walkerresidentialarchitects ltd.

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp


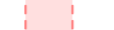





PRIVATE

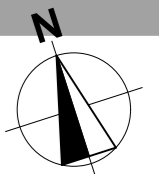
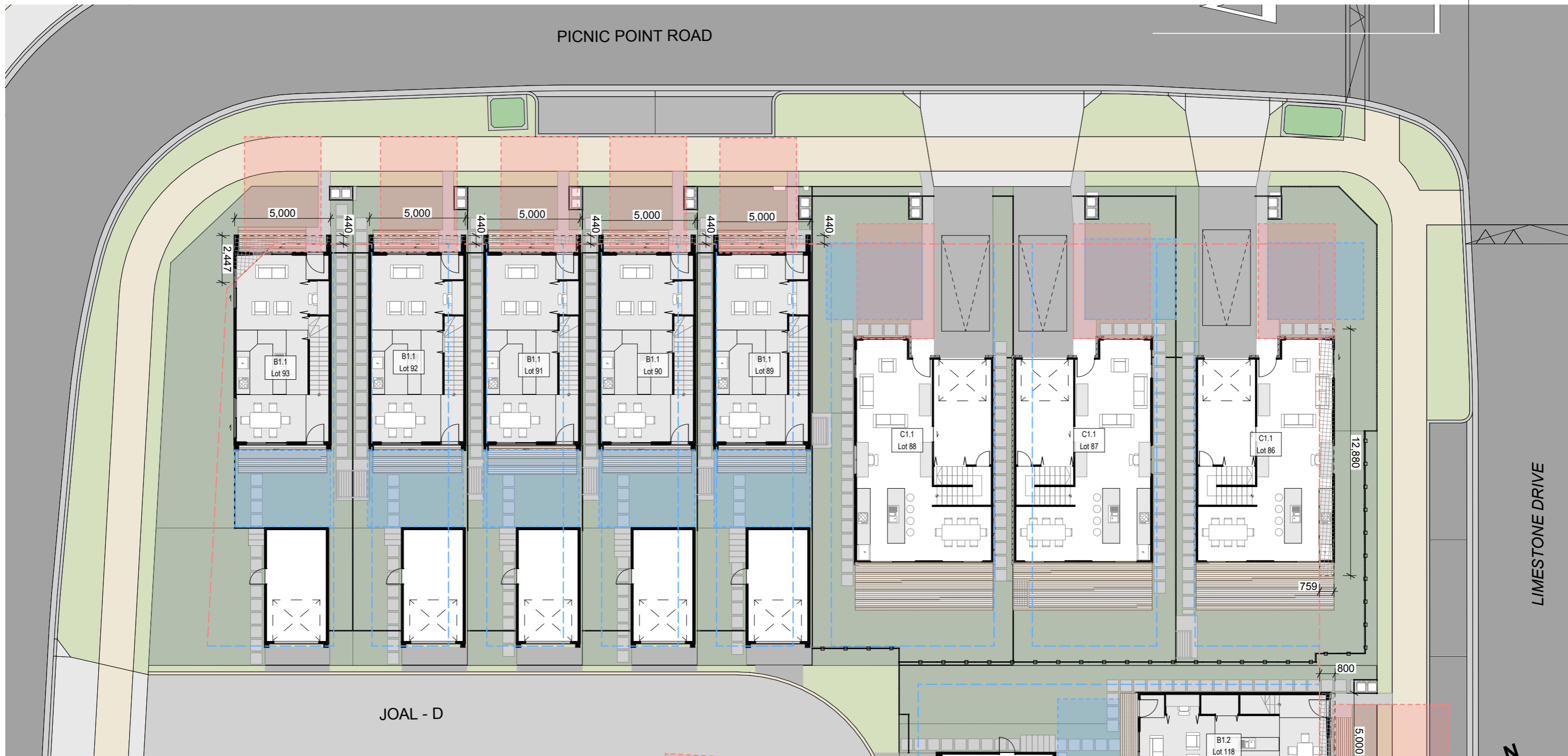
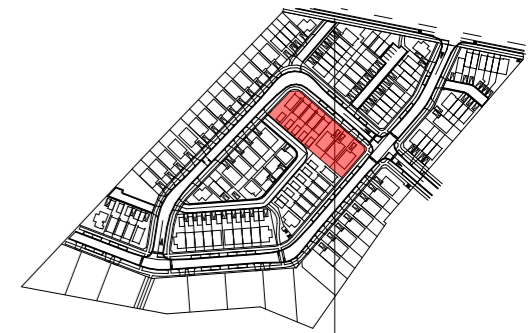
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civil retaining

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



PUBLIC

- Street Berm
Grass or planting
- Footpath
Concrete
- Road
Asphalt finish
- JOAL
Textured concrete or cobblestone
- Ramp

PRIVATE

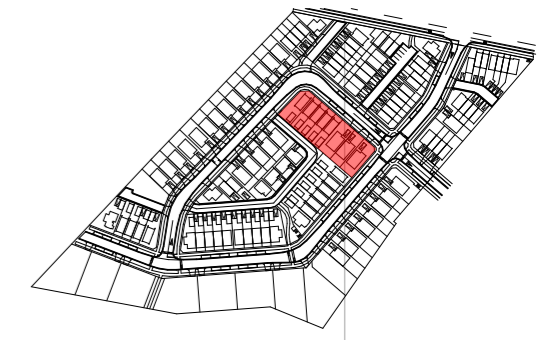
- Building
- Driveway/parking pad
- Permeable paving
- Laneway
- Paving
- Deck
- Civil retaining

LANDSCAPING

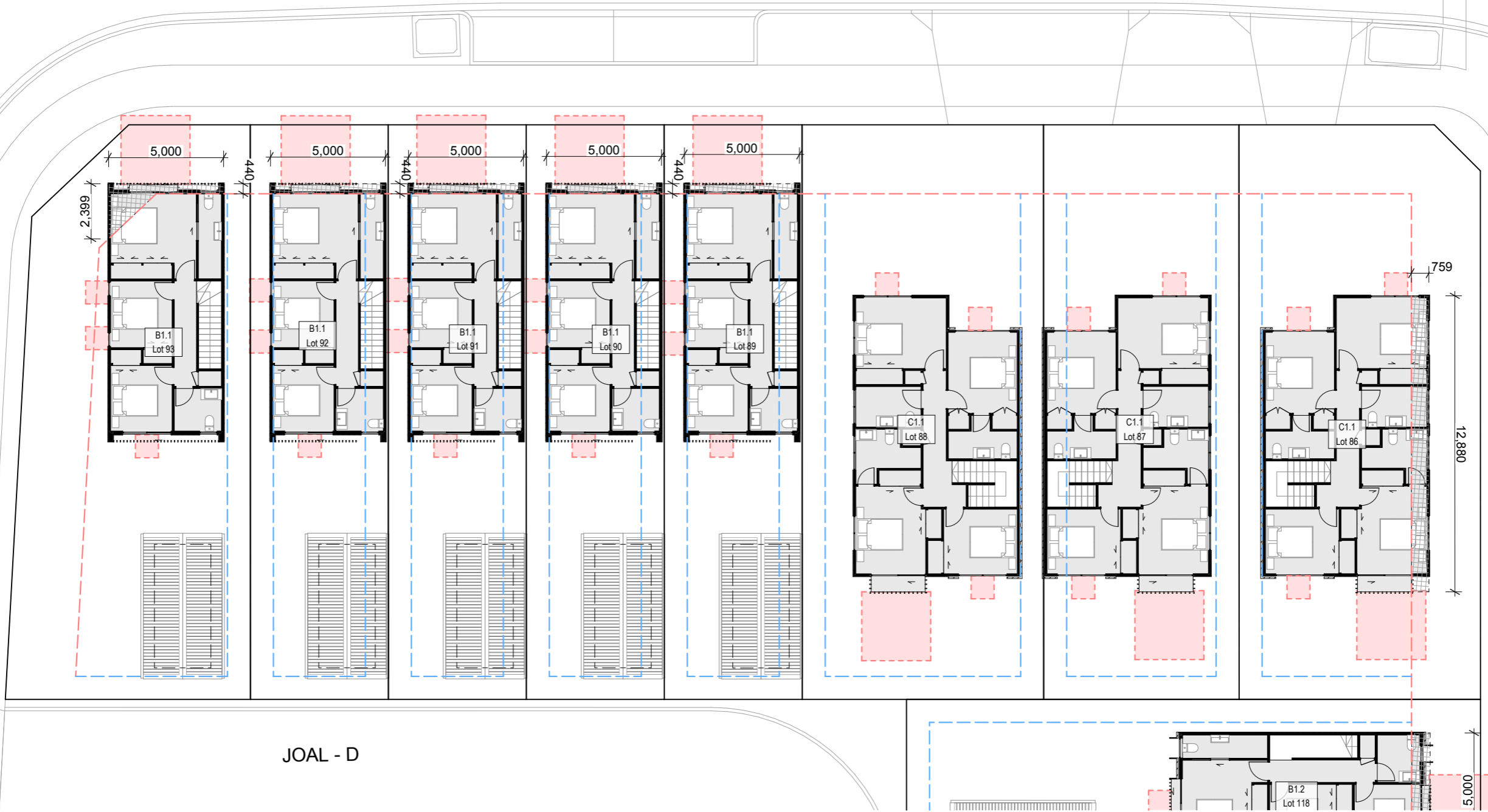
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

- 1x1m Secondary bedroom outlook
- 3x3m Primary bedroom outlook
- 4x6m Primary living outlook
- 20m² Private outdoor space
- Compliance infringement
- 1m side and rear yard setback
- 3m front yard setback

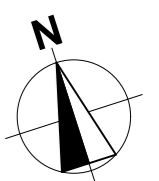


PICNIC POINT ROAD



JOAL - D

LIMESTONE DRIVE



Upper Floor - Lot 86 - 93

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A028	B






Scale @A3: 1:200



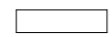




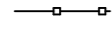

Northwest Developments Limited

18 Scott Road

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete








PRIVATE

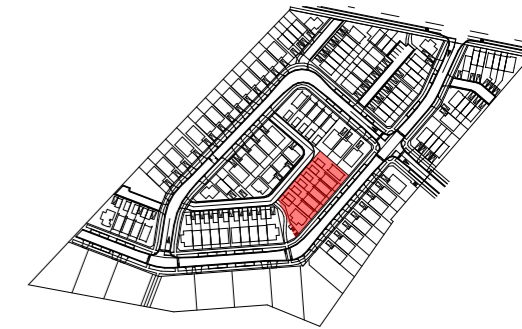
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

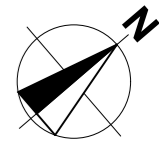
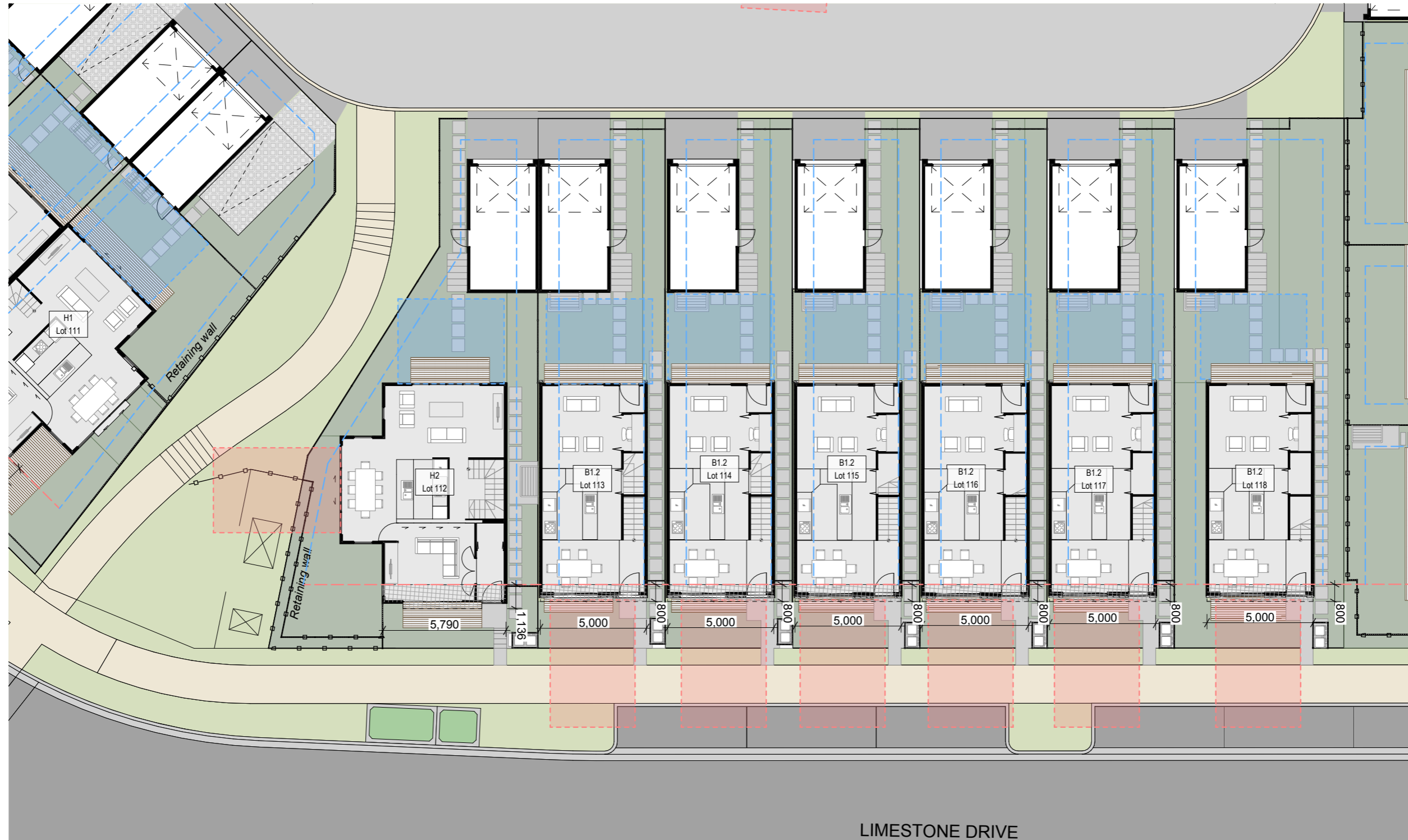
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



JOAL - D



LIMESTONE DRIVE

Ground Floor - Lot 112 - 118

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A029	B
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Northwest Developments Limited

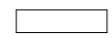




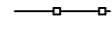

18 Scott Road

Scale @A3: 1:200

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete








PRIVATE

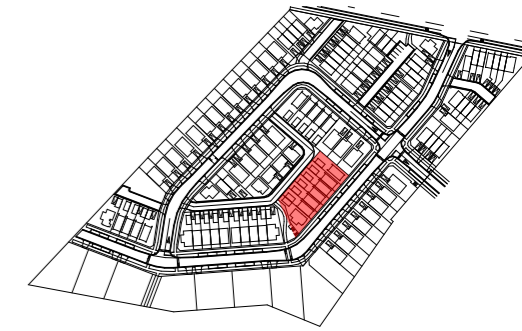
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

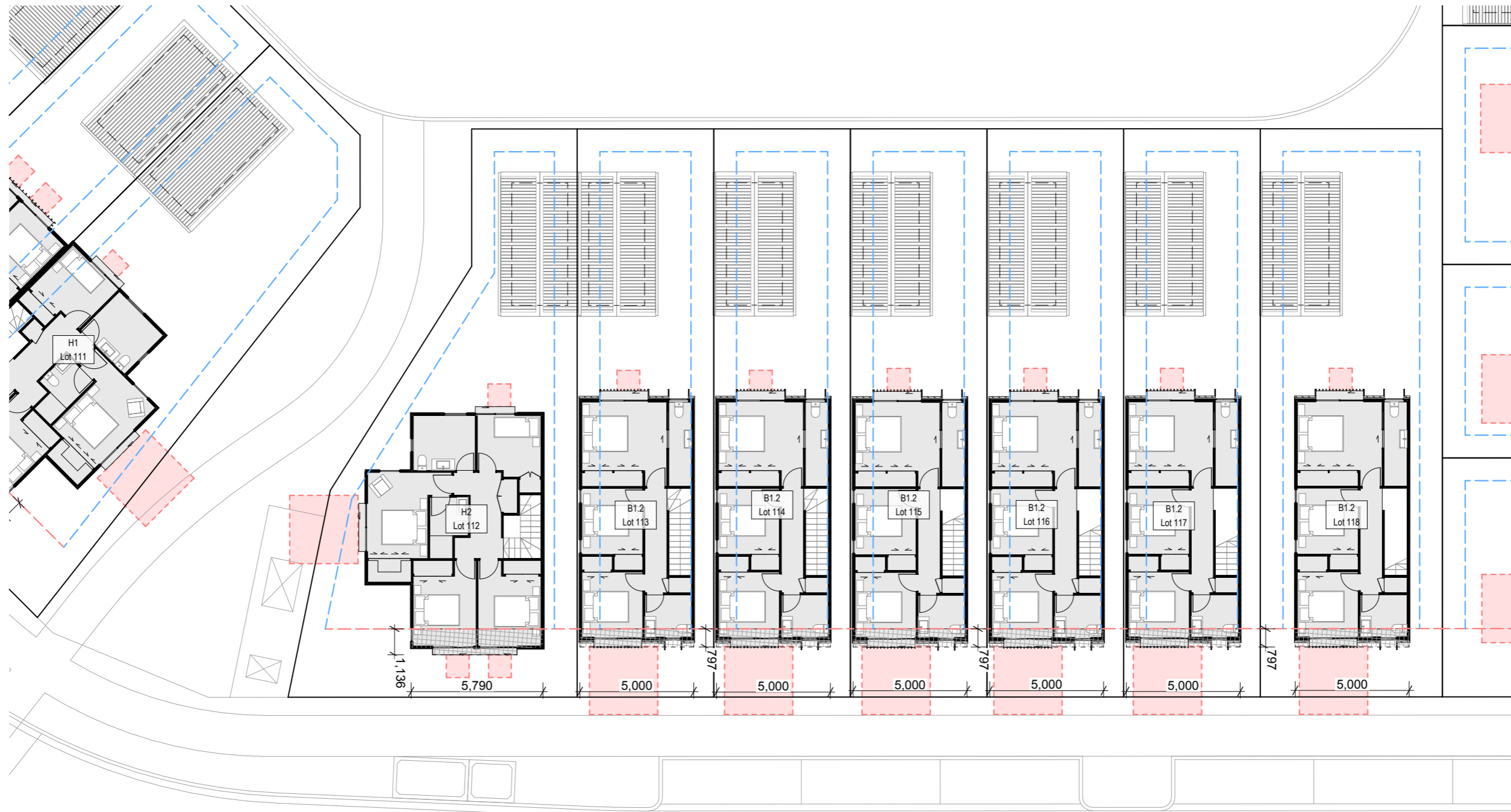
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

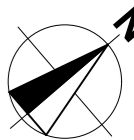
-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



JOAL - D



LIMESTONE DRIVE



Upper Floor - Lot 112 - 118

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A030	B
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Northwest Developments Limited

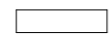




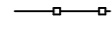

18 Scott Road

Scale @A3: 1:200

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete



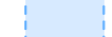


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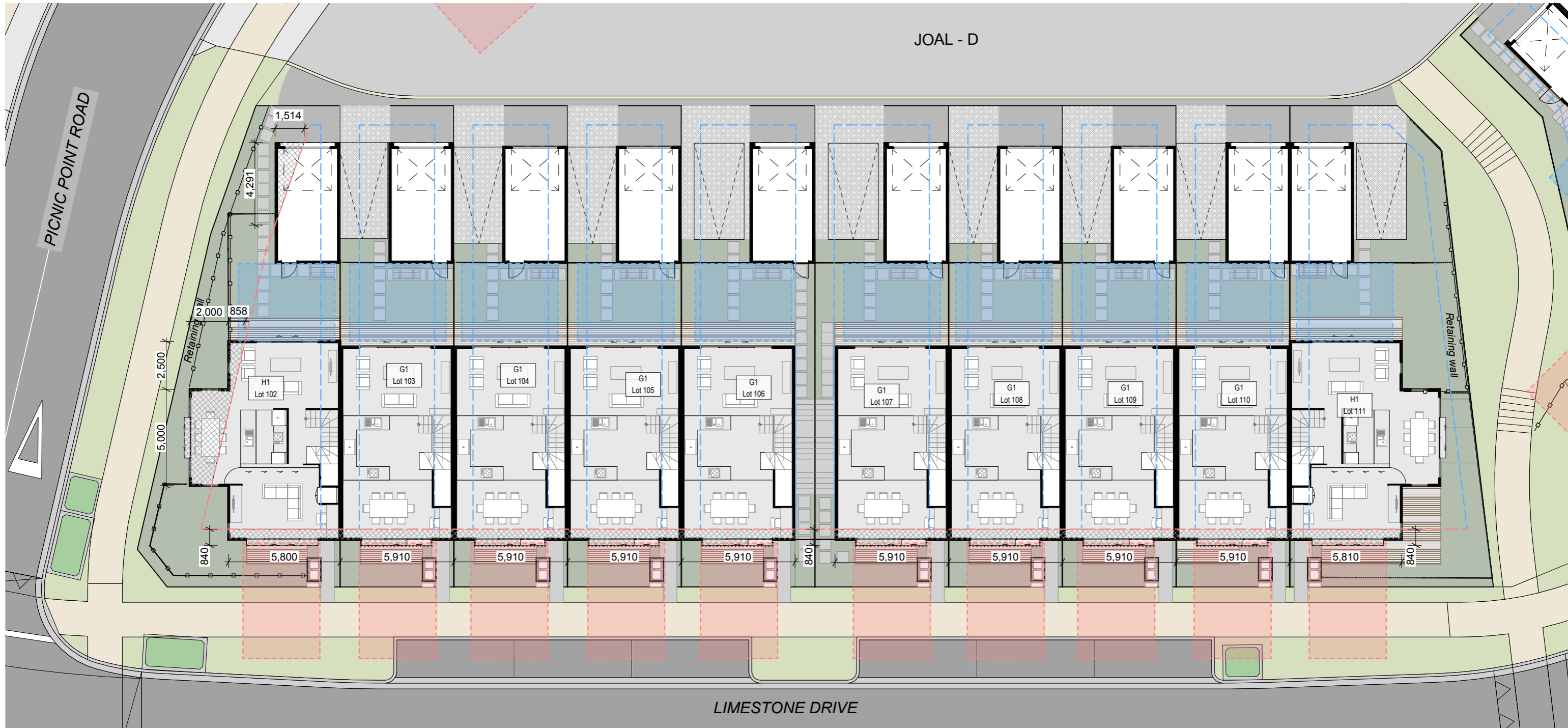
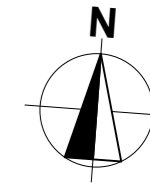
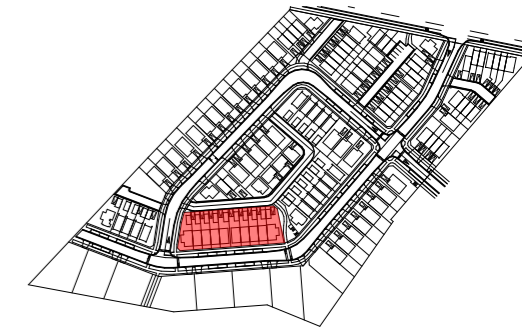
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING






Refer to LASF landscape design for soft landscaping.

COMPLIANCE

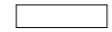

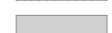




-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp
Concrete




PRIVATE

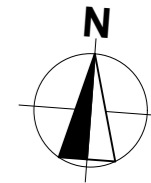
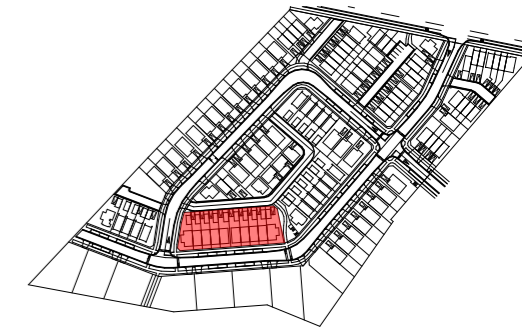
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining
Refer to civils plan

LANDSCAPING

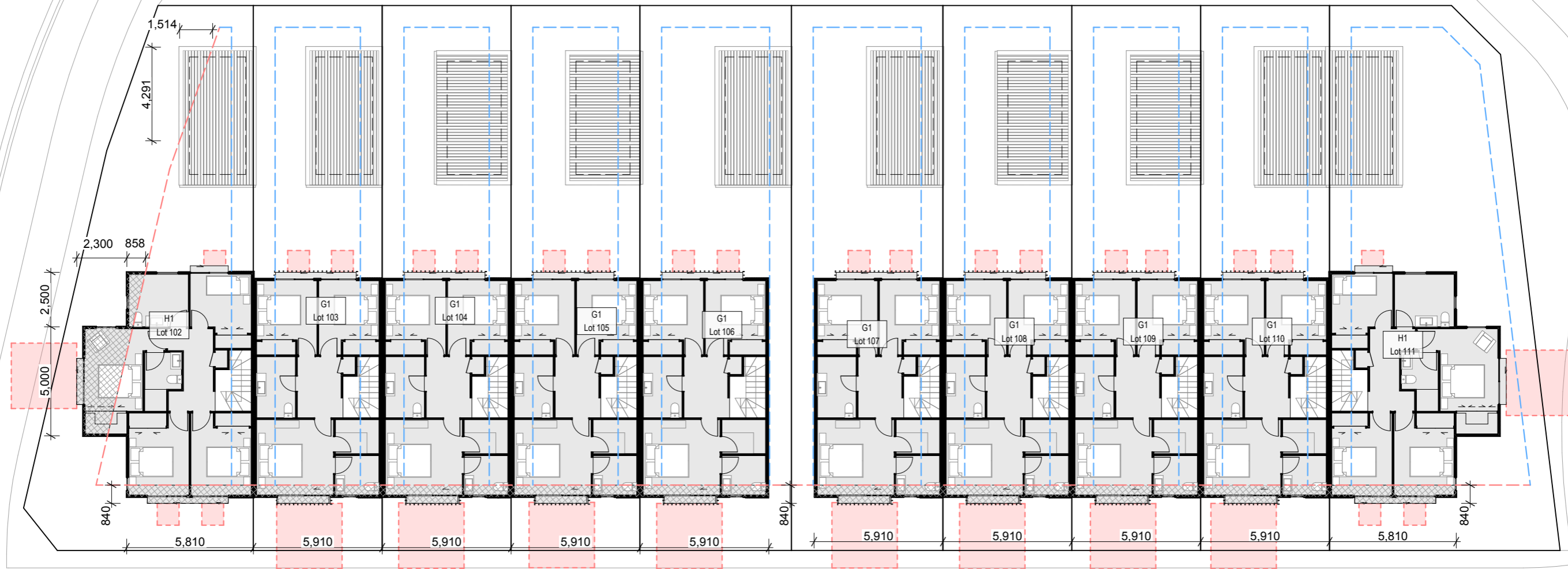
Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



JOAL - D



Upper Floor - Lot 102 - 111

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A032	B
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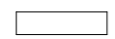






18 Scott Road

Scale @A3: 1:200

PUBLIC

-  Street Berm
Grass or planting
-  Footpath
Concrete
-  Road
Asphalt finish
-  JOAL
Textured concrete or cobblestone
-  Ramp








PRIVATE

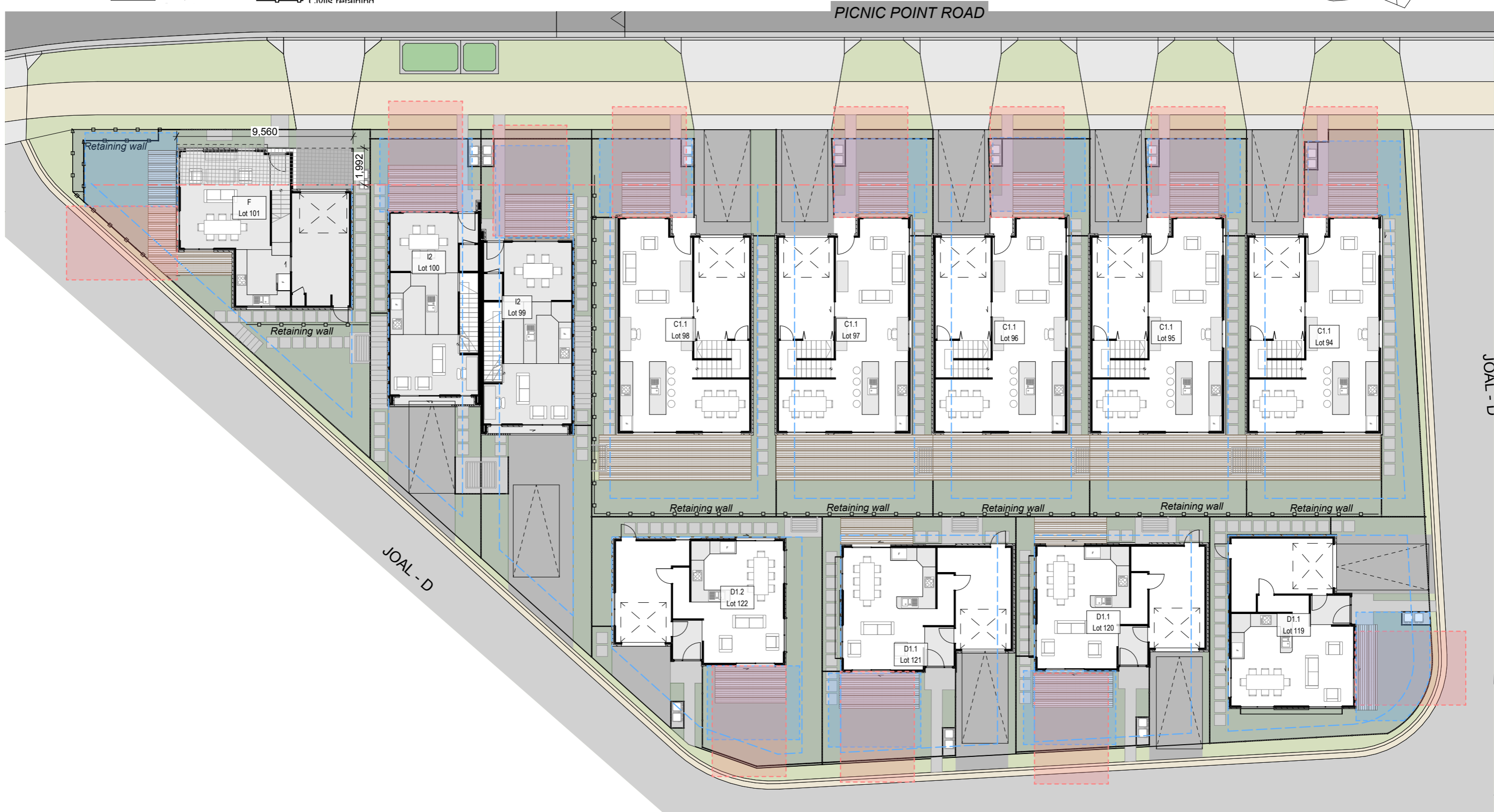
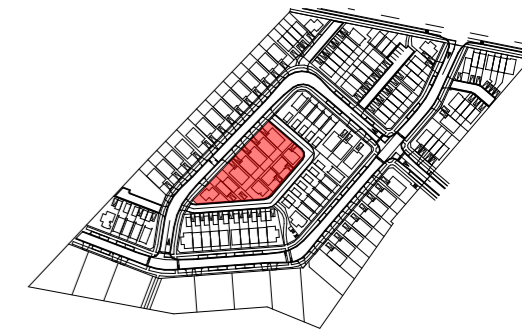
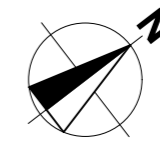
-  Building
-  Driveway/parking pad
-  Permeable paving
-  Laneway
-  Paving
-  Deck
-  Civils retaining

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

COMPLIANCE

-  1x1m Secondary bedroom outlook
-  3x3m Primary bedroom outlook
-  4x6m Primary living outlook
-  20m² Private outdoor space
-  Compliance infringement
-  1m side and rear yard setback
-  3m front yard setback



Ground Floor - Lot 94-101, 119 to 122

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A033	B
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18 Scott Road

Scale @A3: 1:200

PUBLIC

- Street Berm
Grass or planting
- Footpath
Concrete
- Road
Asphalt finish
- JOAL
Textured concrete or cobblestone
- Ramp

PRIVATE

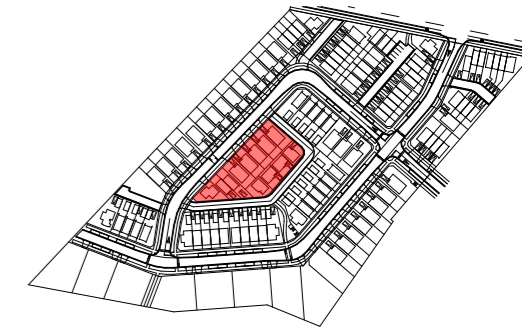
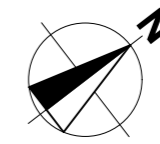
- Building
- Driveway/parking pad
- Permeable paving
- Laneway
- Paving
- Deck
- Civils retaining

LANDSCAPING

Refer to LASF landscape design for soft landscaping.

COMPLIANCE

- 1x1m Secondary bedroom outlook
- 3x3m Primary bedroom outlook
- 4x6m Primary living outlook
- 20m² Private outdoor space
- Compliance infringement
- 1m side and rear yard setback
- 3m front yard setback



JOAL - D

JOAL - D





FENCE LEGEND

- A1.8** —
1.8m High
Timber vertical board single sided.
Stain finish.
- B1.8** —
1.8m High
Timber vertical board single sided,
50% visually permeable. Gap to
match paling width.
Stain finish.
- C1.4** —
1.4m High
Timber vertical board single sided.
Stain finish.
- D1.4** —
1.4m High
Timber, vertical board single sided,
50% visually permeable. Gap to
match paling width.
Stain finish.
- E1.2** —
1.2m High.
Pool style fence. Powder coated.

BIN STORAGE

- 1.5m High.
Materials to match / suit house
design. Refer to sheet A037
Gates not to face road

Level 1, Wairu Timber Building
152 Fanshawe Street, Auckland 1161
PO Box 5219
Victoria Street West
Auckland 1142, New Zealand
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18 Scott Road

Auckland Council | Approved Resource Consent Plan | BUN60393007 | 08/09/2022 | Page 36 of 119

Fencing Plan Part 1

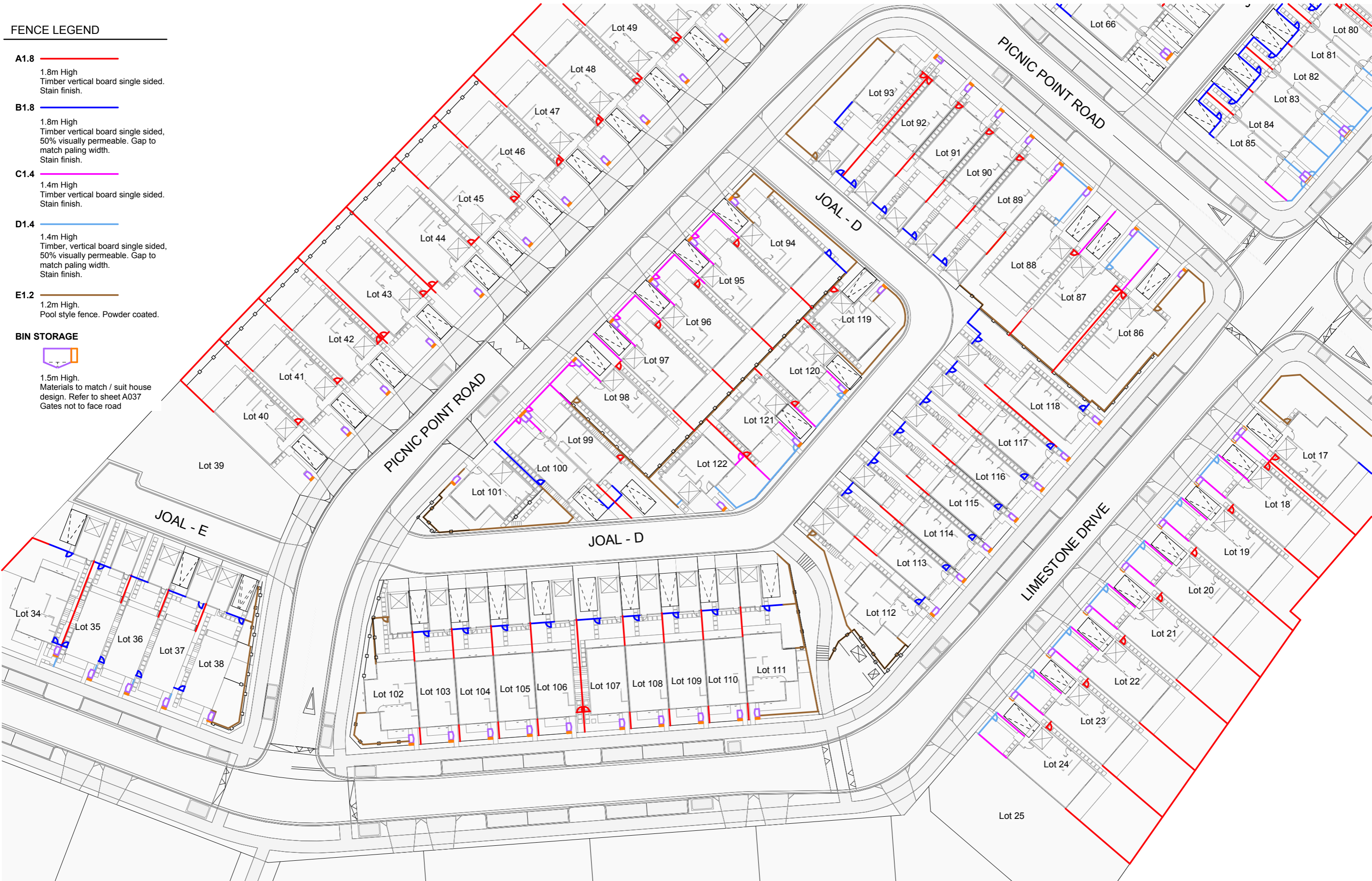
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A035	B

Scale @A3: 1:500



FENCE LEGEND

- A1.8** —
1.8m High
Timber vertical board single sided.
Stain finish.
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Stain finish.
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1.4m High
Timber, vertical board single sided,
50% visually permeable. Gap to
match paling width.
Stain finish.
- E1.2** —
1.2m High.
Pool style fence. Powder coated.
- BIN STORAGE**
—
1.5m High.
Materials to match / suit house
design. Refer to sheet A037
Gates not to face road



Fencing Plan Part 2

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. **A036**

Rev. **B**

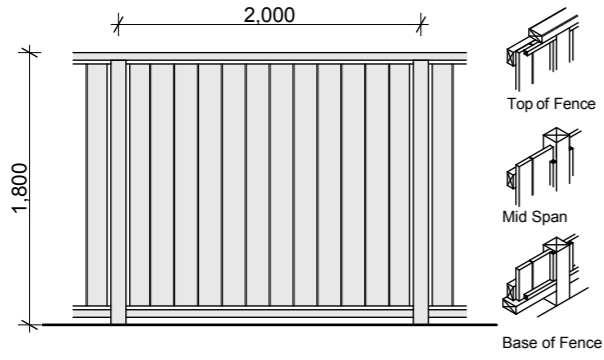
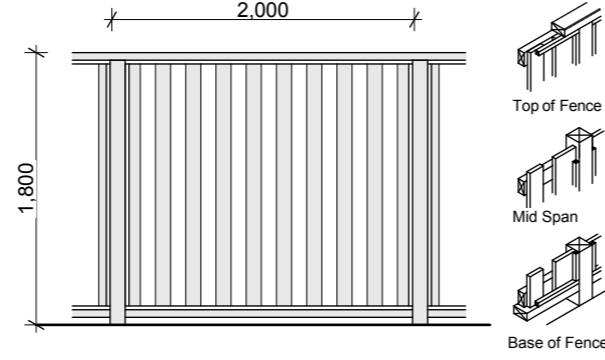
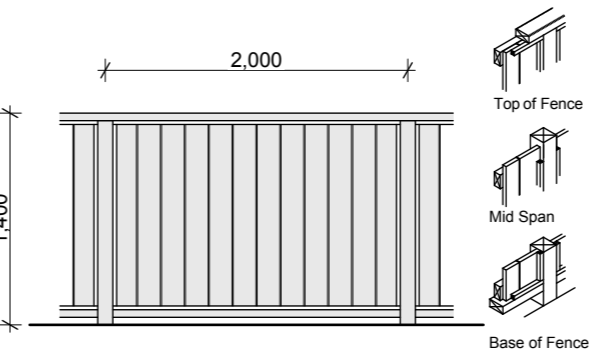
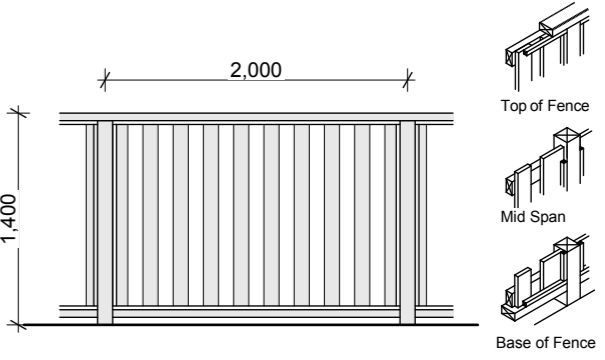
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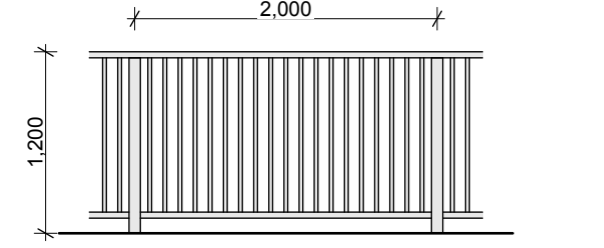

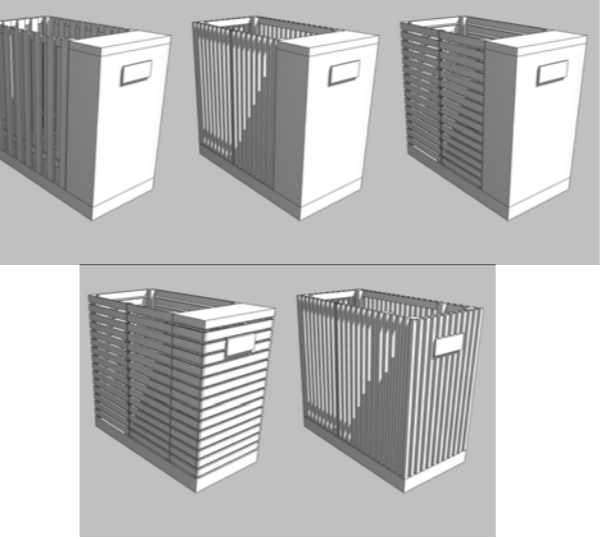




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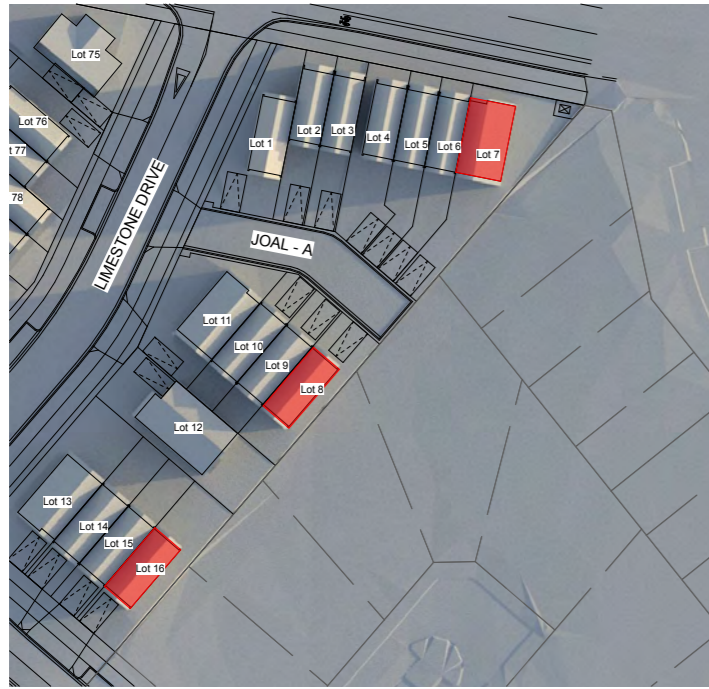
<p>FENCE CODE A1.8</p>  <table border="1"> <tr><td>FENCE CODE</td><td>A1.8</td></tr> <tr><td>HEIGHT</td><td>1.8 meters</td></tr> <tr><td>POSTS</td><td>100 x 100mm @2000crs</td></tr> <tr><td>PALINGS</td><td>25 x 150mm Rough sawn pine vertical</td></tr> <tr><td>RAIL</td><td>90 x 45mm Dressed rails</td></tr> <tr><td>EDGE TRIM</td><td>25 x 25mm Dressed pine sections</td></tr> <tr><td>FINISH</td><td>Stain finish</td></tr> </table> <p>NOTE: Capping 100 x 50mm dressed pine with 5mm rounded top edges</p>	FENCE CODE	A1.8	HEIGHT	1.8 meters	POSTS	100 x 100mm @2000crs	PALINGS	25 x 150mm Rough sawn pine vertical	RAIL	90 x 45mm Dressed rails	EDGE TRIM	25 x 25mm Dressed pine sections	FINISH	Stain finish	<p>FENCE CODE B1.8</p>  <table border="1"> <tr><td>FENCE CODE</td><td>B1.8</td></tr> <tr><td>HEIGHT</td><td>1.8 meters</td></tr> <tr><td>POSTS</td><td>100 x 100mm @2000crs</td></tr> <tr><td>PALINGS</td><td>25 x 100mm Rough sawn pine vertical</td></tr> <tr><td>RAIL</td><td>90 x 45mm Dressed rails</td></tr> <tr><td>EDGE TRIM</td><td>25 x 25mm Dressed pine sections</td></tr> <tr><td>FINISH</td><td>Stain finish</td></tr> </table> <p>NOTE: Capping 100 x 50mm dressed pine with 5mm rounded top edges. Gap between palings to achieve 50% visual permeability.</p>	FENCE CODE	B1.8	HEIGHT	1.8 meters	POSTS	100 x 100mm @2000crs	PALINGS	25 x 100mm Rough sawn pine vertical	RAIL	90 x 45mm Dressed rails	EDGE TRIM	25 x 25mm Dressed pine sections	FINISH	Stain finish	<p>FENCE CODE C1.4</p>  <table border="1"> <tr><td>FENCE CODE</td><td>C1.4</td></tr> <tr><td>HEIGHT</td><td>1.4 meters</td></tr> <tr><td>POSTS</td><td>100 x 100mm @2000crs</td></tr> <tr><td>PALINGS</td><td>25 x 150mm Rough sawn pine vertical</td></tr> <tr><td>RAIL</td><td>90 x 45mm Dressed rails</td></tr> <tr><td>EDGE TRIM</td><td>25 x 25mm Dressed pine sections</td></tr> <tr><td>FINISH</td><td>Stain finish</td></tr> </table> <p>NOTE: Capping 100 x 50mm dressed pine with 5mm rounded top edges</p>	FENCE CODE	C1.4	HEIGHT	1.4 meters	POSTS	100 x 100mm @2000crs	PALINGS	25 x 150mm Rough sawn pine vertical	RAIL	90 x 45mm Dressed rails	EDGE TRIM	25 x 25mm Dressed pine sections	FINISH	Stain finish	<p>FENCE CODE D1.4</p>  <table border="1"> <tr><td>FENCE CODE</td><td>D1.4</td></tr> <tr><td>HEIGHT</td><td>1.4 meters</td></tr> <tr><td>POSTS</td><td>100 x 100mm @2000crs</td></tr> <tr><td>PALINGS</td><td>25 x 100mm Rough sawn pine vertical</td></tr> <tr><td>RAIL</td><td>90 x 45mm Dressed rails</td></tr> <tr><td>EDGE TRIM</td><td>25 x 25mm Dressed pine sections</td></tr> <tr><td>FINISH</td><td>Stain finish</td></tr> </table> <p>NOTE: Capping 100 x 50mm dressed pine with 5mm rounded top edges. Gap between palings to achieve 50% visual permeability.</p>	FENCE CODE	D1.4	HEIGHT	1.4 meters	POSTS	100 x 100mm @2000crs	PALINGS	25 x 100mm Rough sawn pine vertical	RAIL	90 x 45mm Dressed rails	EDGE TRIM	25 x 25mm Dressed pine sections	FINISH	Stain finish
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<p>FENCE CODE E1.2</p>  <table border="1"> <tr><td>FENCE CODE</td><td>E1.2</td></tr> <tr><td>HEIGHT</td><td>1.2 meters</td></tr> <tr><td>POSTS</td><td>75 x 75mm @2000crs</td></tr> <tr><td>POLES</td><td>25 round Aluminium</td></tr> <tr><td>RAILS</td><td>50 x 40mm Rectangle Top & Bottom</td></tr> <tr><td>FINISH</td><td>Powder Coated</td></tr> </table> <p>NOTE: 100mm gap from ground to base of fence.</p>	FENCE CODE	E1.2	HEIGHT	1.2 meters	POSTS	75 x 75mm @2000crs	POLES	25 round Aluminium	RAILS	50 x 40mm Rectangle Top & Bottom	FINISH	Powder Coated	<p>BIN STORAGE</p>  <table border="1"> <tr><td>FENCE CODE</td><td></td></tr> <tr><td>HEIGHT</td><td>1.5 meters</td></tr> <tr><td>MATERIALS</td><td>Bin area with integrated post box. Various materials consisting of timber (Painted and Unpainted), powder coated or painted steel and masonry to compliment the materials of the house at which it is located. Refer to above images.</td></tr> </table> <p>NOTE: Enclosure gates to point away from road</p>	FENCE CODE		HEIGHT	1.5 meters	MATERIALS	Bin area with integrated post box. Various materials consisting of timber (Painted and Unpainted), powder coated or painted steel and masonry to compliment the materials of the house at which it is located. Refer to above images.	<p>BIN STORAGE</p>  <p>Typical Bin area design. Materials and colours to compliment house materials and adjacent fence. Letterbox position is indicative.</p>	<p>RETAINING</p> <p>KEYSTONE RETAINING WALL</p>  <p>TIMBER RETAINING WALL - SQUARE POST</p>  <p><i>Timber retaining wall with fence on top</i></p>
FENCE CODE	E1.2																				
HEIGHT	1.2 meters																				
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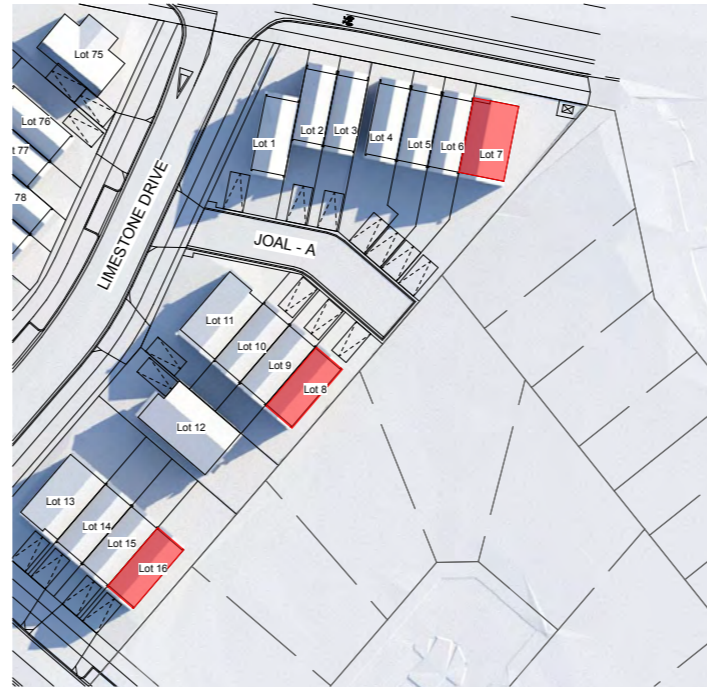
DRIVEWAY AND FOOTPATH	DRIVEWAY AND FOOTPATH	PAVERS	
 <p data-bbox="400 863 727 909"><i>Typical vehicle crossing driveway and footpath</i></p>	 <p data-bbox="1015 863 1341 909"><i>Typical vehicle crossing driveway and footpath</i></p>	 <p data-bbox="1676 863 1899 888"><i>Pavers in narrow spaces</i></p>	 <p data-bbox="2291 863 2513 888"><i>Pavers in grassed areas</i></p>

TYPICAL DECKED AREAS	FRONT YARD RETAINING	FRONT YARD	
 <p data-bbox="480 1766 641 1791"><i>Typical deck areas</i></p>	 <p data-bbox="961 1402 1409 1449"><i>Front yard retaining. Block wall with timber fence or pool type fence on top.</i></p> <p data-bbox="961 1755 1409 1780"><i>Landscaped front yard retaining and concrete steps</i></p>	 <p data-bbox="1608 1402 1955 1449"><i>Planting in front yard and between units. Concrete steps up to units</i></p>	

Sun Study for lots where the Alternative Height to Boundary rule is applied



1 Sept 22 - 8:00am



2 Sept 22 - 10:00am



3 Sept 22 - 12:00pm



4 Sept 22 - 14:00pm



5 Sept 22 - 16:00pm

Sun Study - Eastern Bdy

Rev Date **9/03/2022**

Job No. **5864**

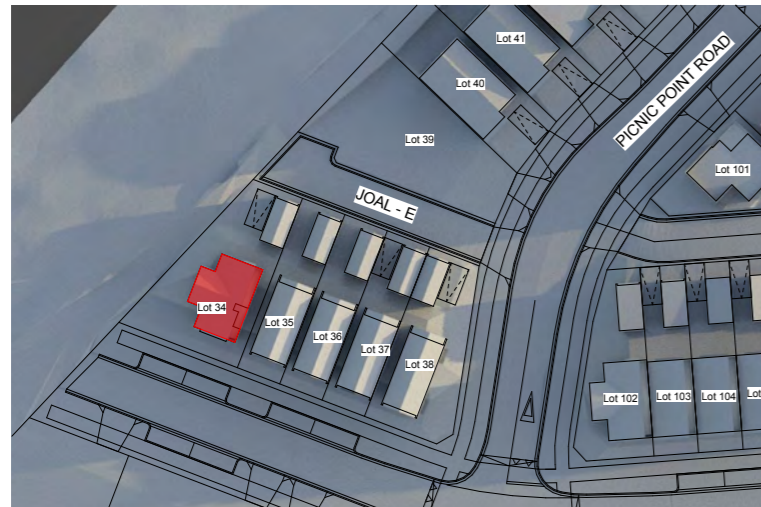
Sheet No. Rev.

Scale @A3:

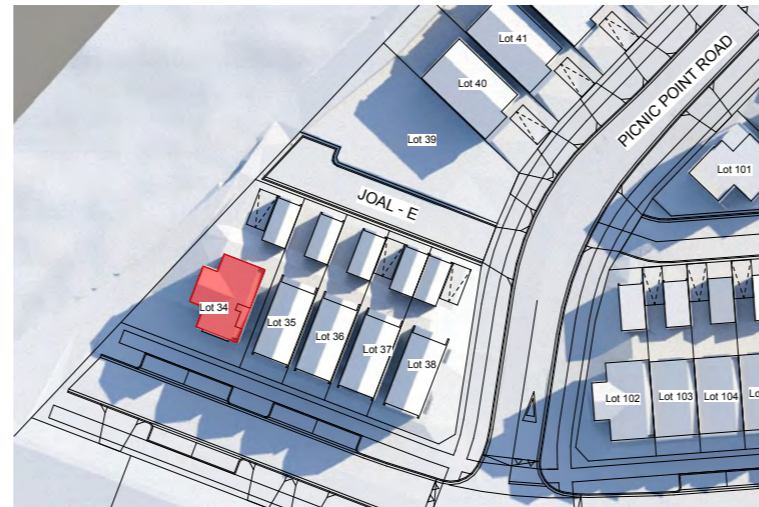
A038 B

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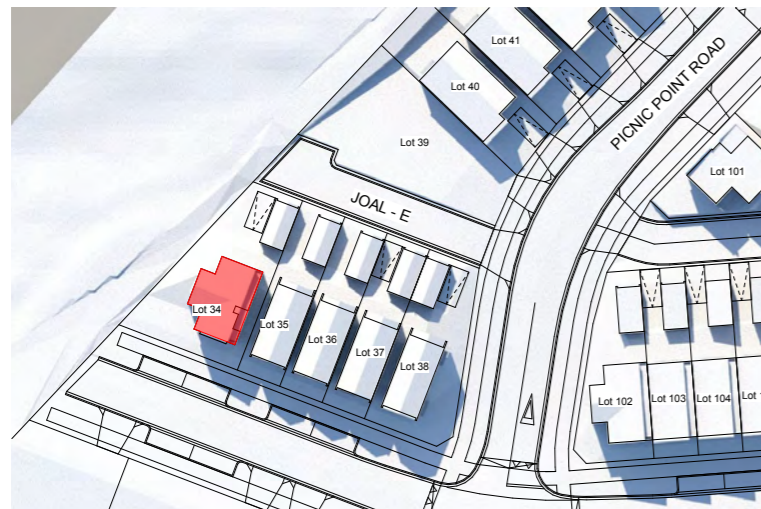
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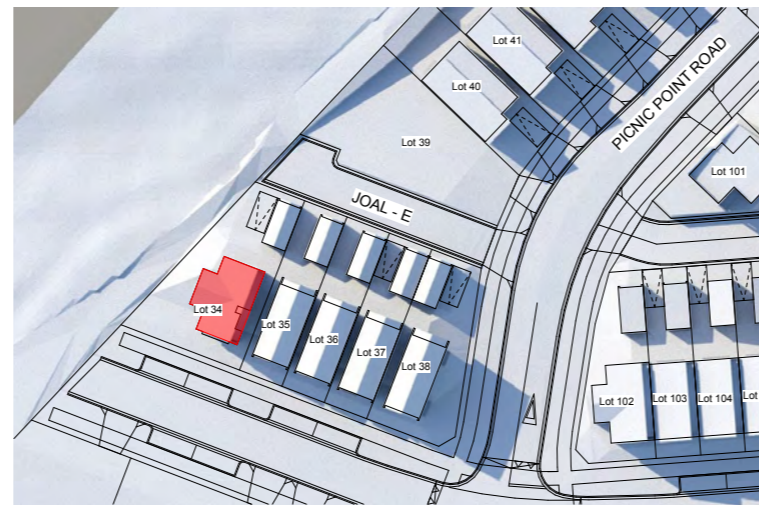
2 Sept 22 - 10:00am



3 Sept 22 - 12:00pm



4 Sept 22 - 14:00pm



5 Sept 22 - 16:00pm

Outdoor living court sun study:
Lots 2-6, 12



1 Sept 22 - 9:00am



2 Sept 22 - 12:00pm

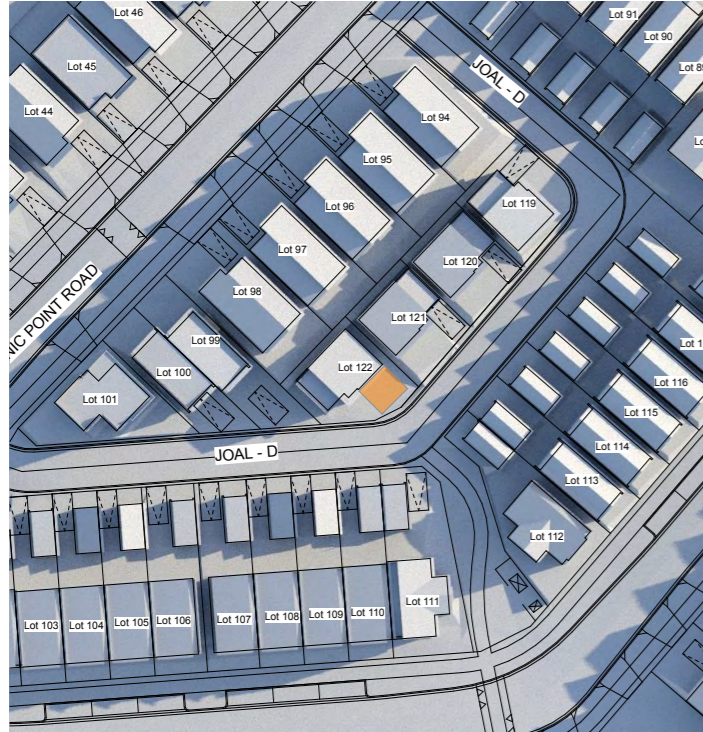


3 Sept 22 - 02:00pm



4 Sept 22 - 04:00pm

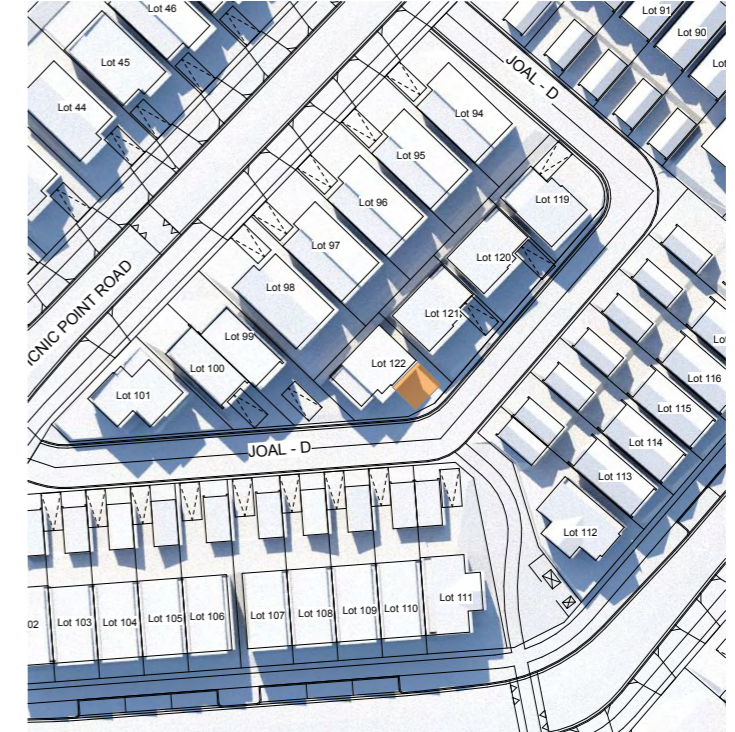
Outdoor living court sun study:
Lot 122



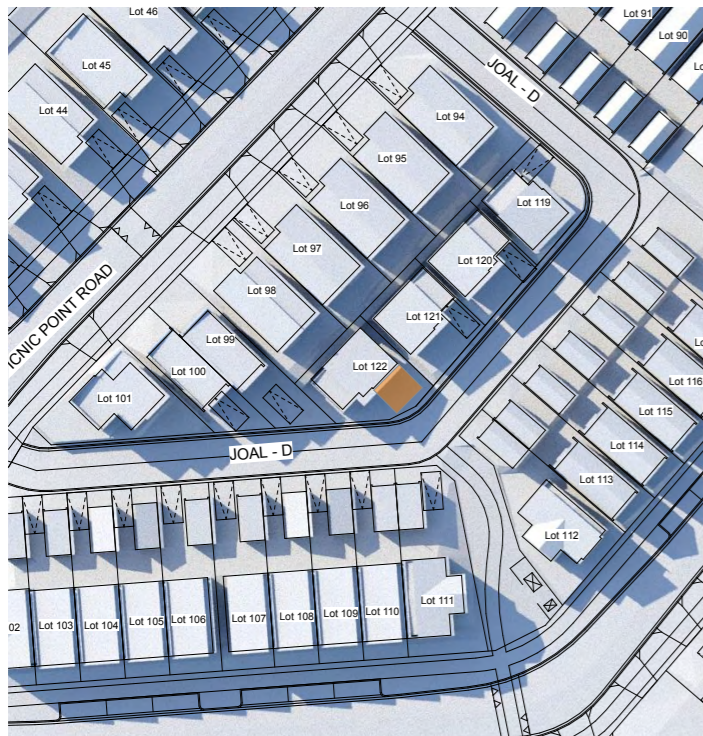
1 Sept 22 - 9:00am



2 Sept 22 - 12:00pm



3 Sept 22 - 02:00pm



4 Sept 22 - 04:00pm

Sun Study - Outdoor Living

Rev Date 25/07/2022

Job No. 5864

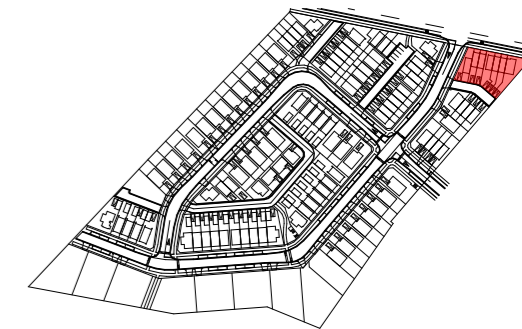
Sheet No. Rev.

Scale @A3:

A041 A

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2

Scott RD Lots 1 - 7

1:100

Elevations Lot 1 - 7

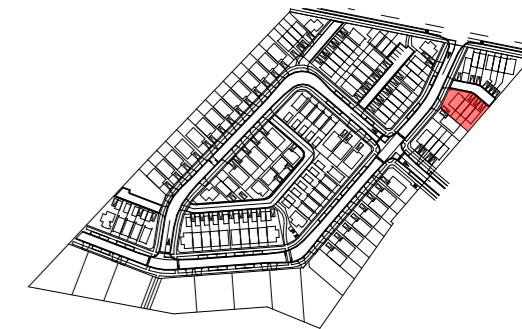
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A301	B
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Scale @A3: 1:100



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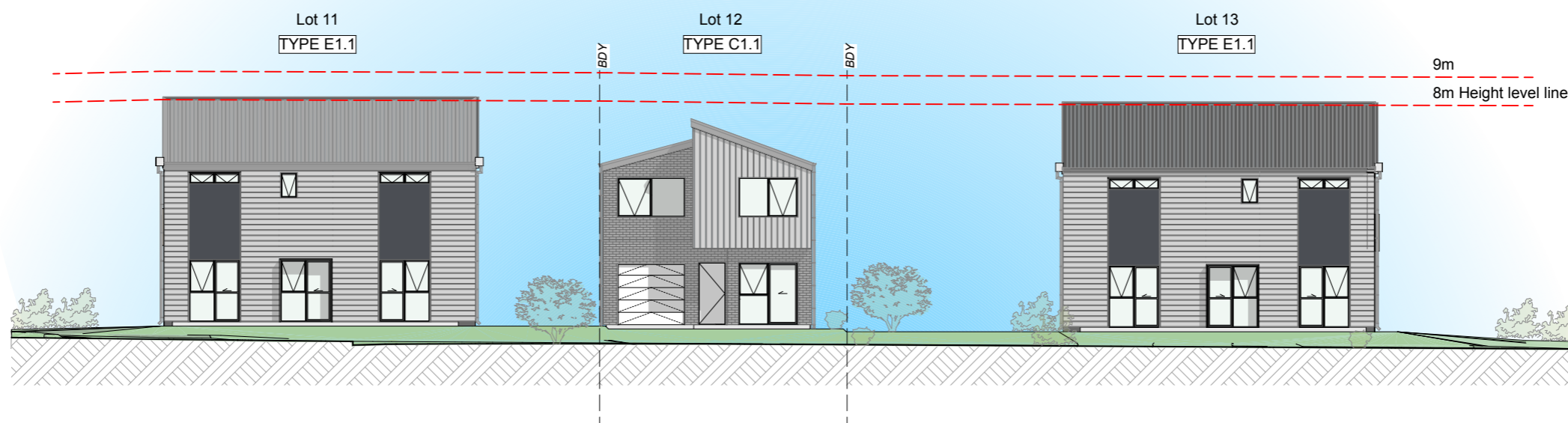
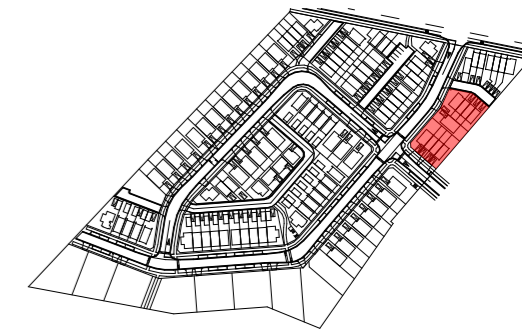
18 Scott Road



2

JOAL - A Lots 8 - 11

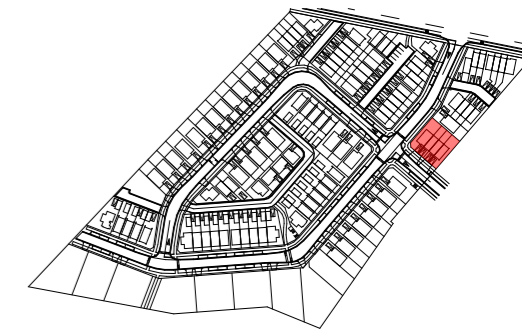
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2

Limestone Drive Lots 11 - 13

1:200



2

Picnic Point Rd Lots 13 - 16

1:100

Elevations Lots 13 - 16

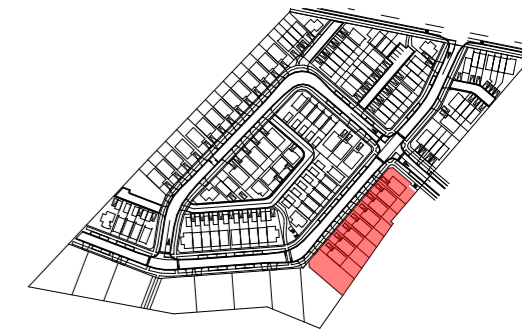
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A304	B
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Scale @A3: 1:100

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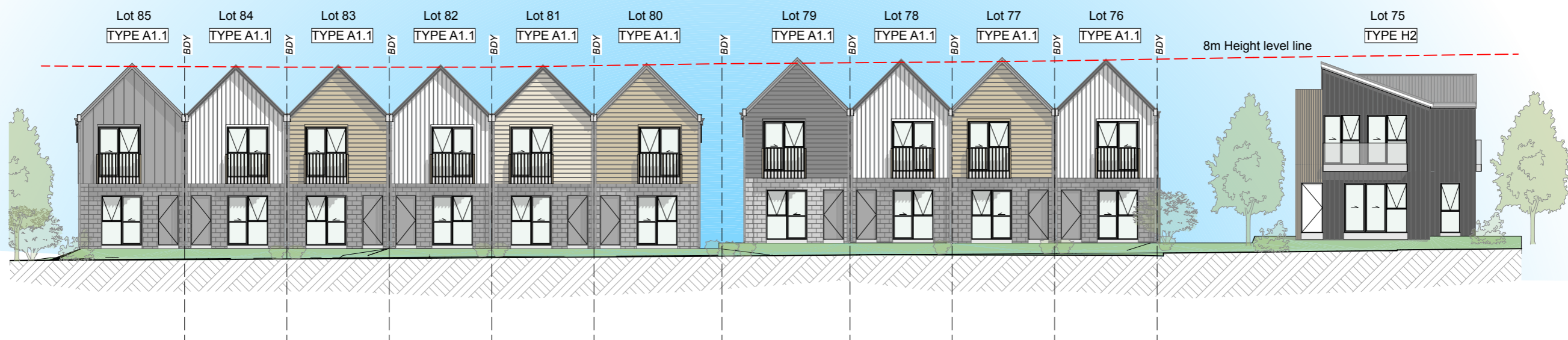
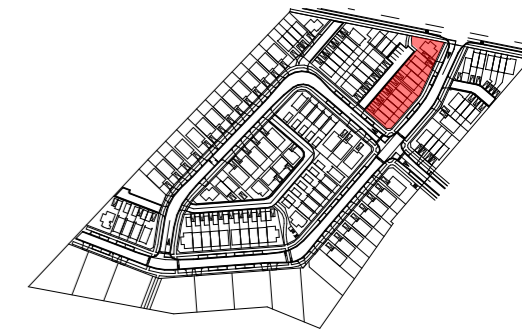
18 Scott Road



2

Limestone Drive Lots 17 - 25

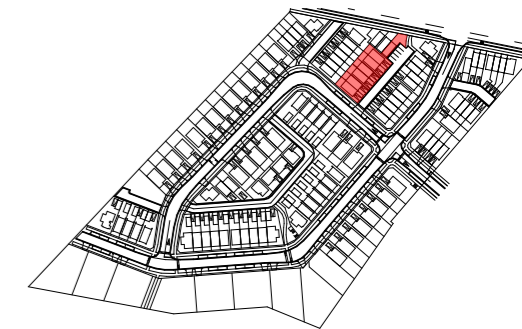
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2

Limestone Drive Lots 75 - 85

1:200



2

JOAL - B Lots 66 - 72

1:200

Elevations Lot 66 - 72

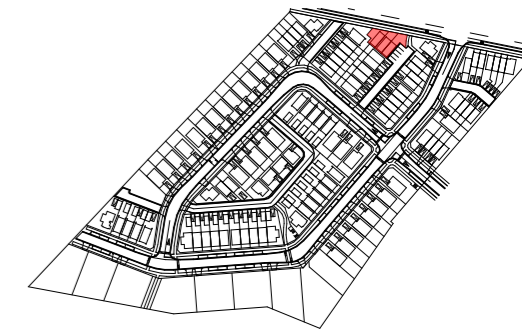
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A307	B
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Scale @A3: 1:200

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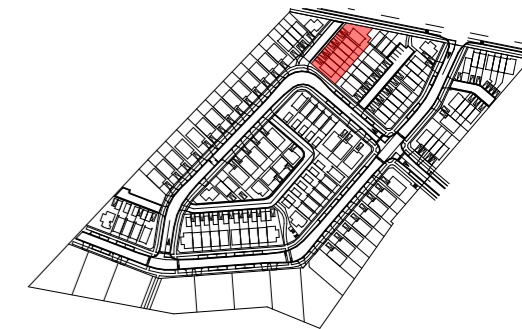
18 Scott Road



2

Scott Rd Lots 72 - 74

1:100



2

JOAL - C Lots 59 - 65

1:100

Elevations 59 - 65

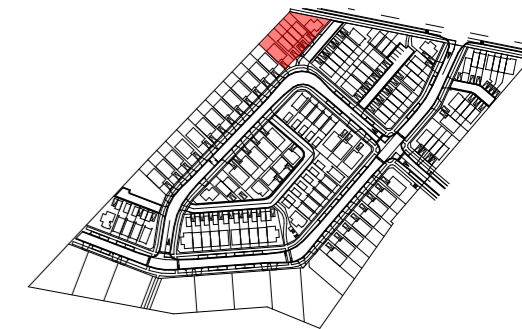
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A309	B
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Scale @A3: 1:100

Northwest Developments Limited

18 Scott Road



2

JOAL - C Lots 54 - 58

1:100

Elevations 54 - 65

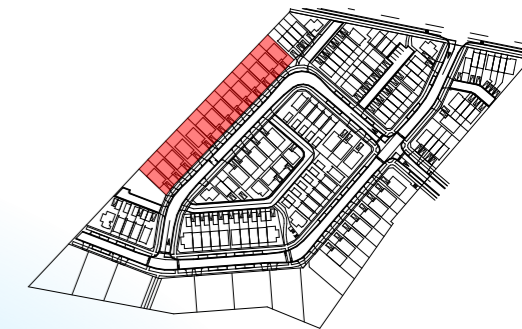
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A310	B
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Scale @A3: 1:100

Northwest Developments Limited

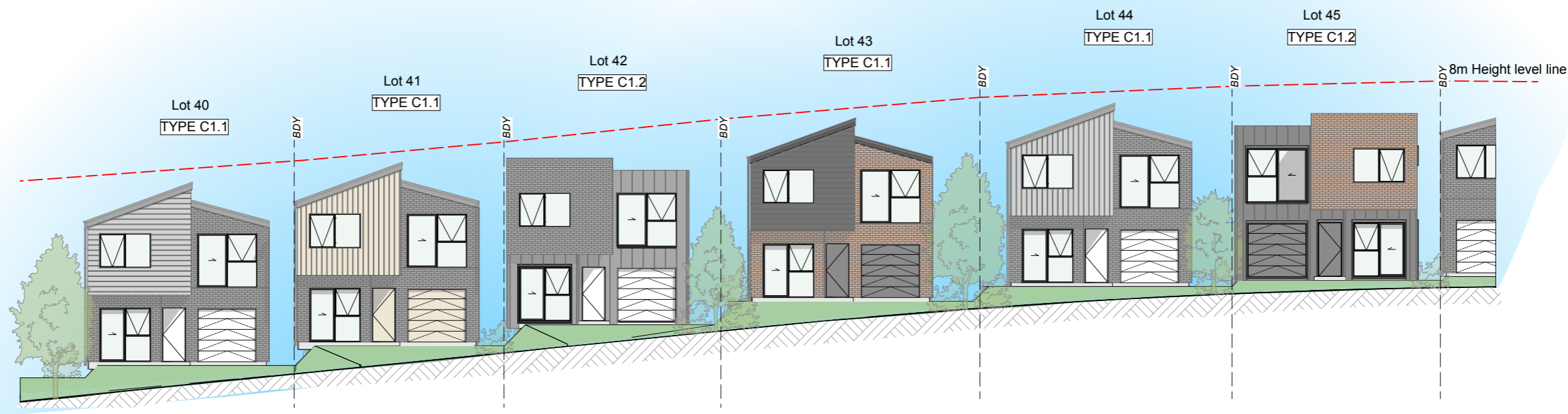
18 Scott Road



2

Picnic Point Rd Lots 46 - 53

1:200



3

Picnic Point Rd Lots 40 - 45

1:200

Elevations Lot 40 - 53

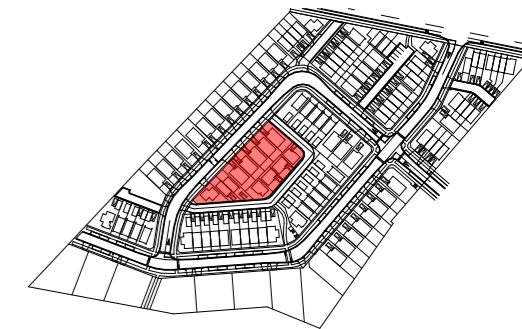
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A311	B
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Scale @A3: 1:200

Northwest Developments Limited

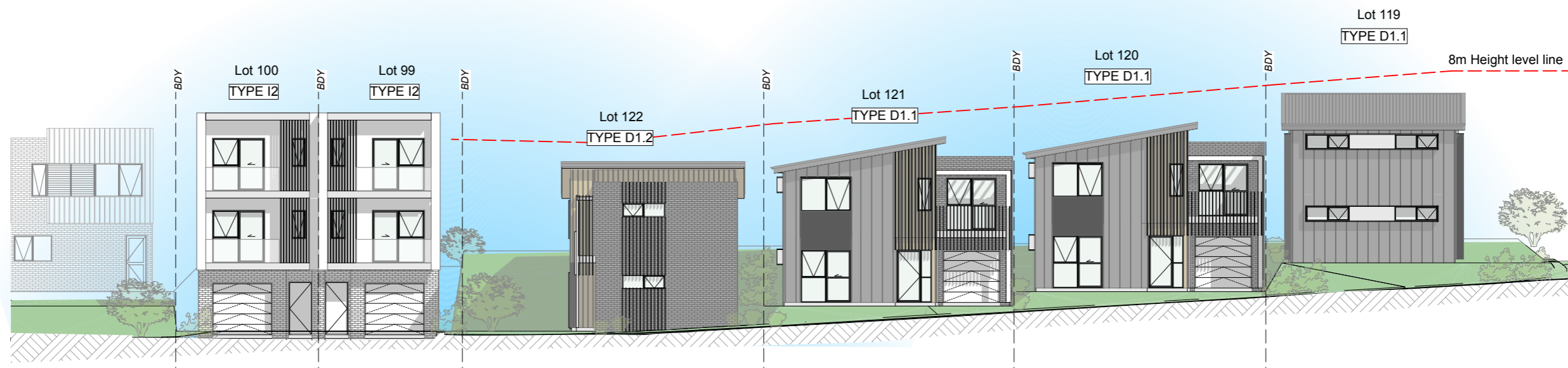
18 Scott Road



2

Picnic Point Rd Lots 94 - 101

1:200



3

JOAL - D Lots 119 - 122

1:200

Elevations Lots 94 - 101 & 119 - 122

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. **A312** Rev. **B**

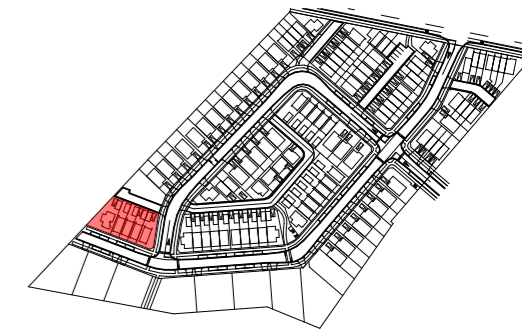
Scale @A3: 1:200

© walker residential architects ltd.



Northwest Developments Limited

18 Scott Road



2

Limestone Drive Lots 34 - 38

1:100

Elevations Lot 34 - 38

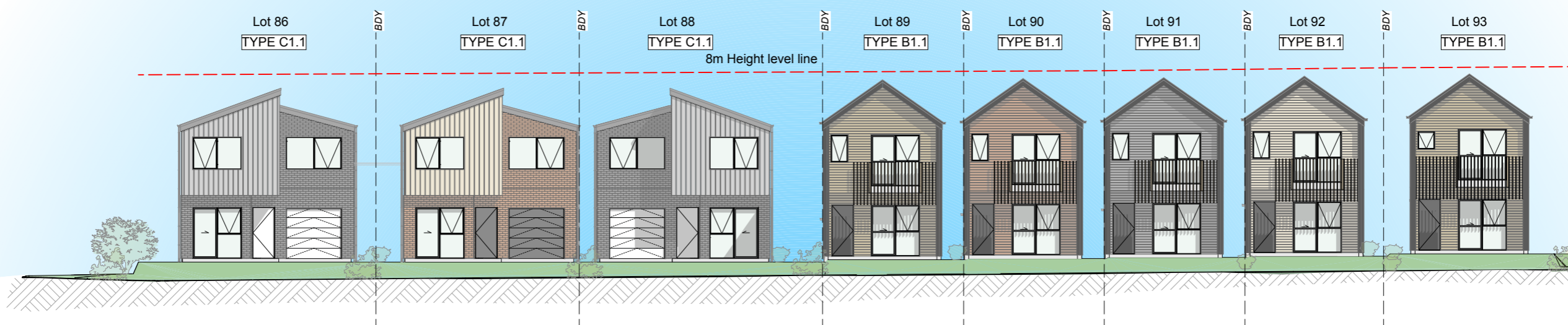
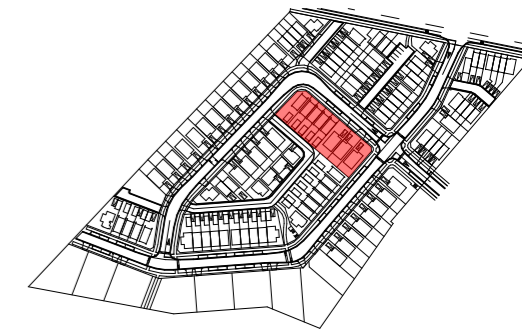
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A313	B
© walker residential architects ltd.	



Scale @A3: 1:100

Northwest Developments Limited

18 Scott Road



2

Picnic Point Rd Lots 86 - 93

1:200

Elevations Lots 86 - 93

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. Rev.

A314 **B**

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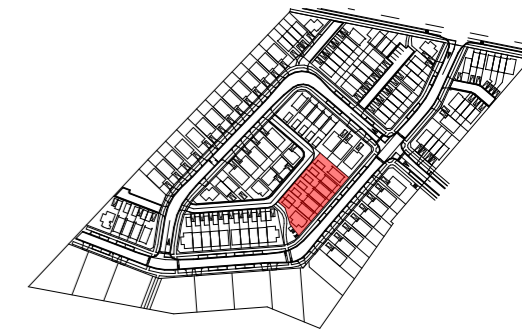


Scale @A3: 1:200

Northwest Developments Limited

18 Scott Road

Auckland Council | Approved Resource Consent Plan | BUN60393007 | 08/09/2022 | Page 57 of 119



2

Limestone Drive Lots 112 - 118

1:200

Elevations Lot 112 - 118

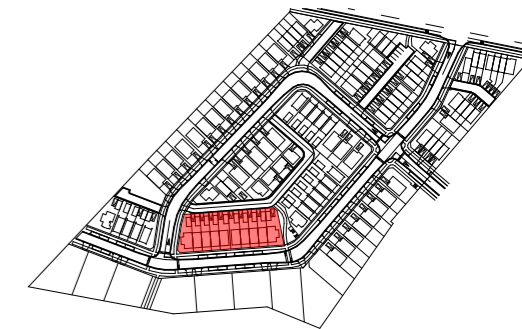
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A315	B
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Scale @A3: 1:200

Northwest Developments Limited

18 Scott Road



2

Limestone Drive Lots 102 - 106

1:200



3

Limestone Drive Lots 107 - 111

1:200

Elevations Lot 102 - 111

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. Rev.

A316 **B**

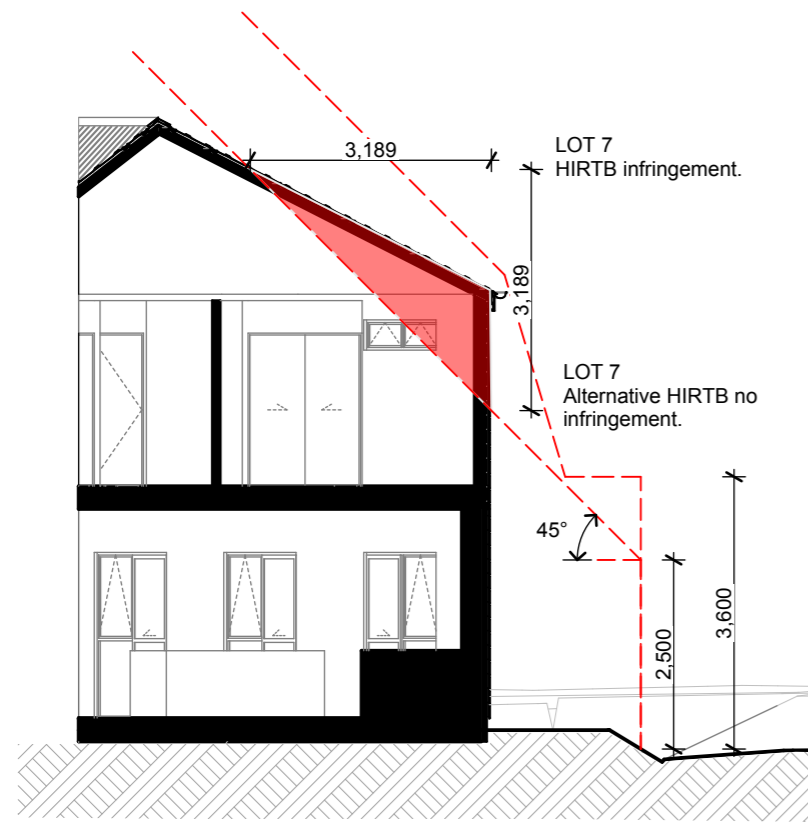
© walker residential architects ltd.



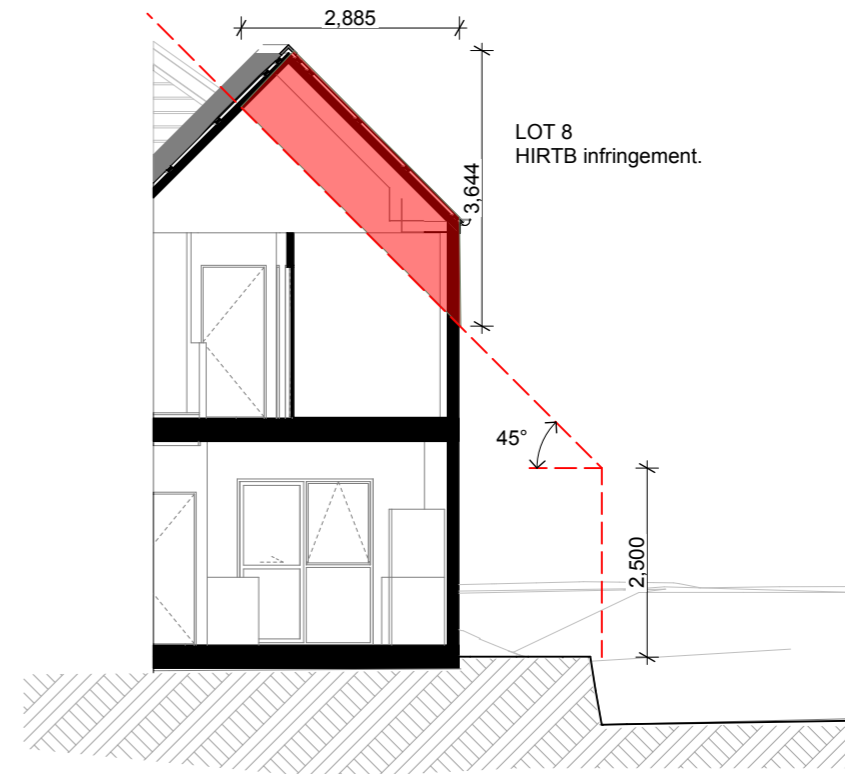
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Northwest Developments Limited

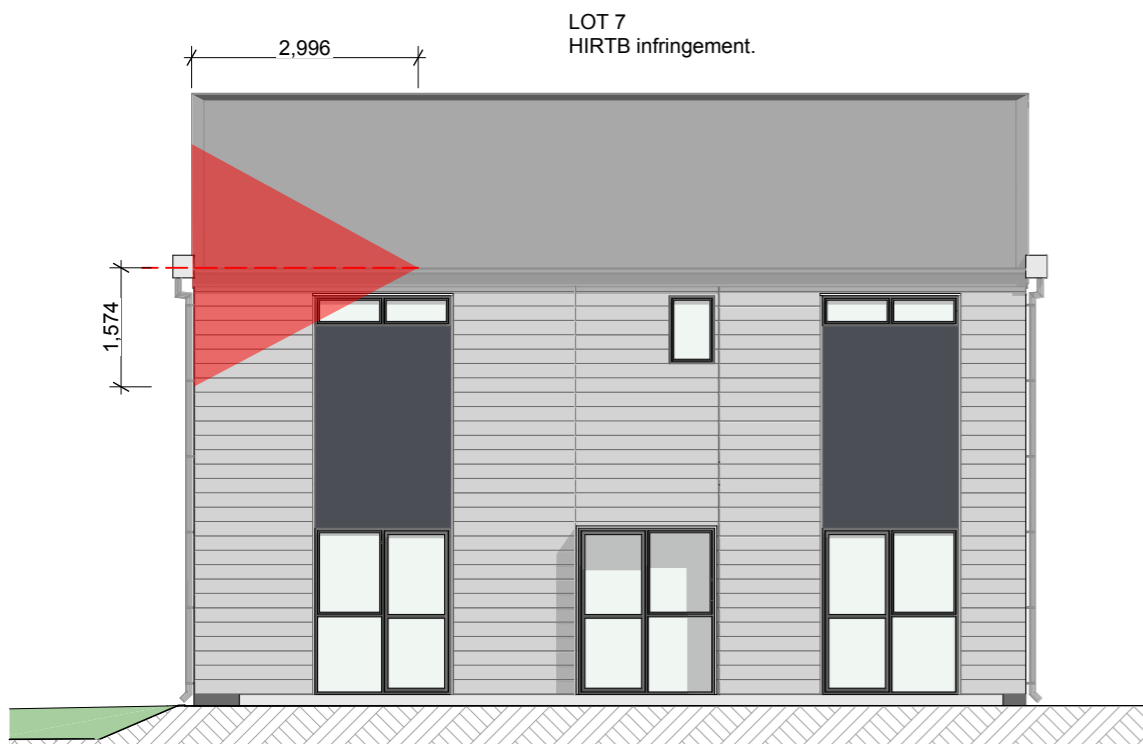
18 Scott Road



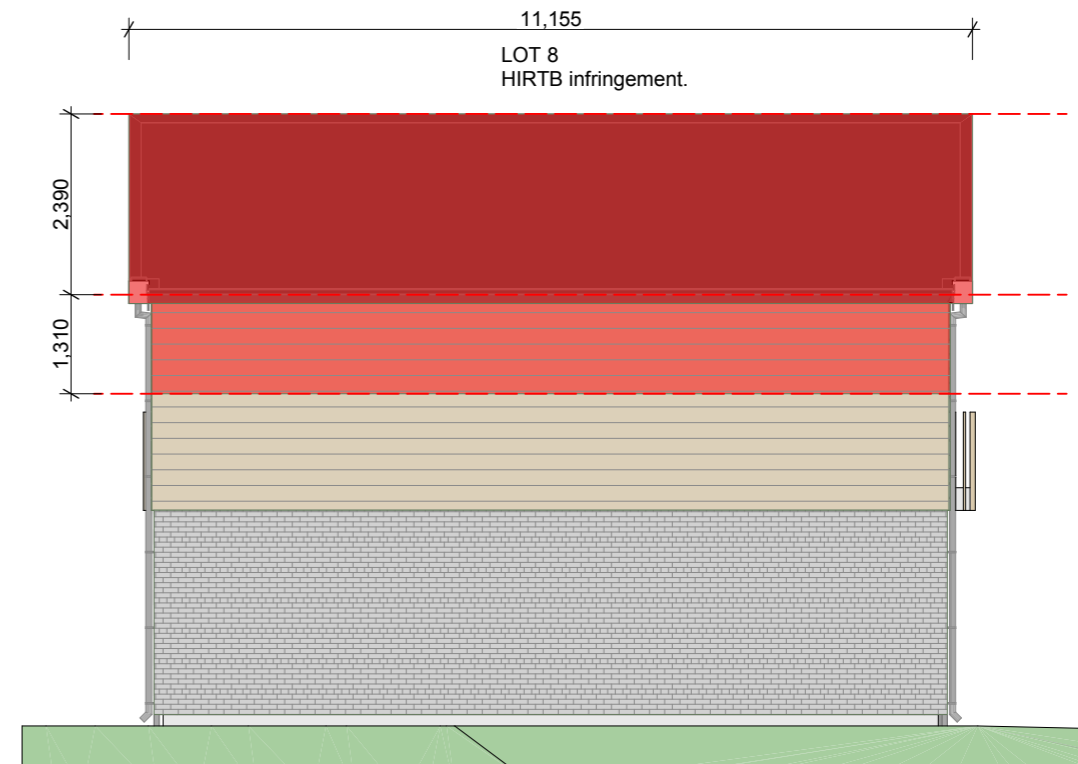
1 Section A East Boundary 1:100



2 Section B East Boundary 1:100



4 Lot 7 - HIRTB infringement



3 Lot 8 - HIRTB infringement

Site Section East Bdy 1

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. **A401** Rev. **B**

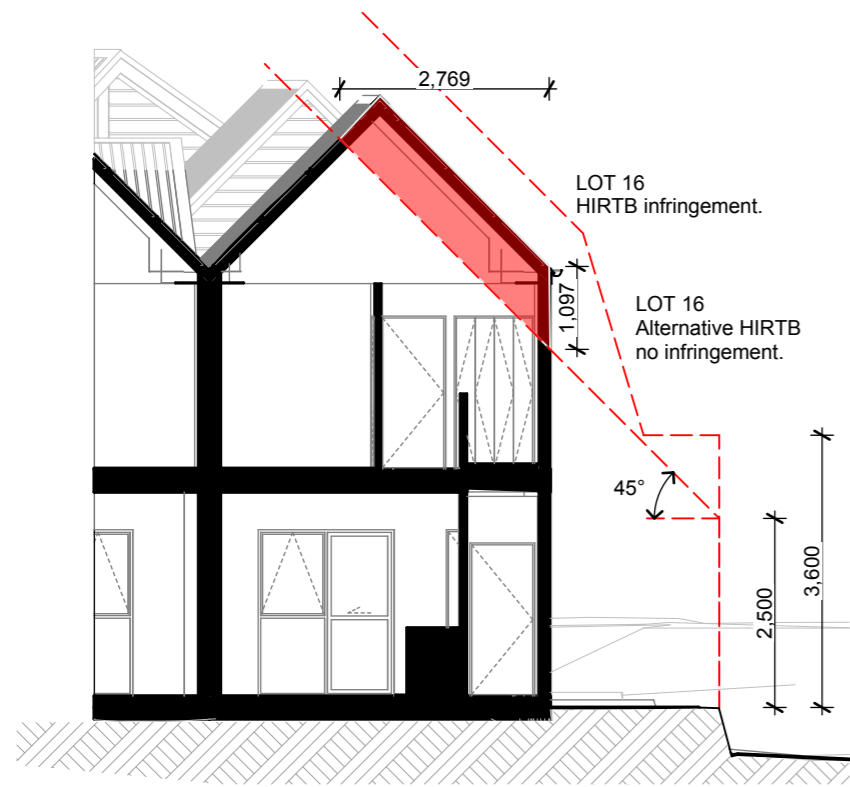
© walker residential architects ltd.



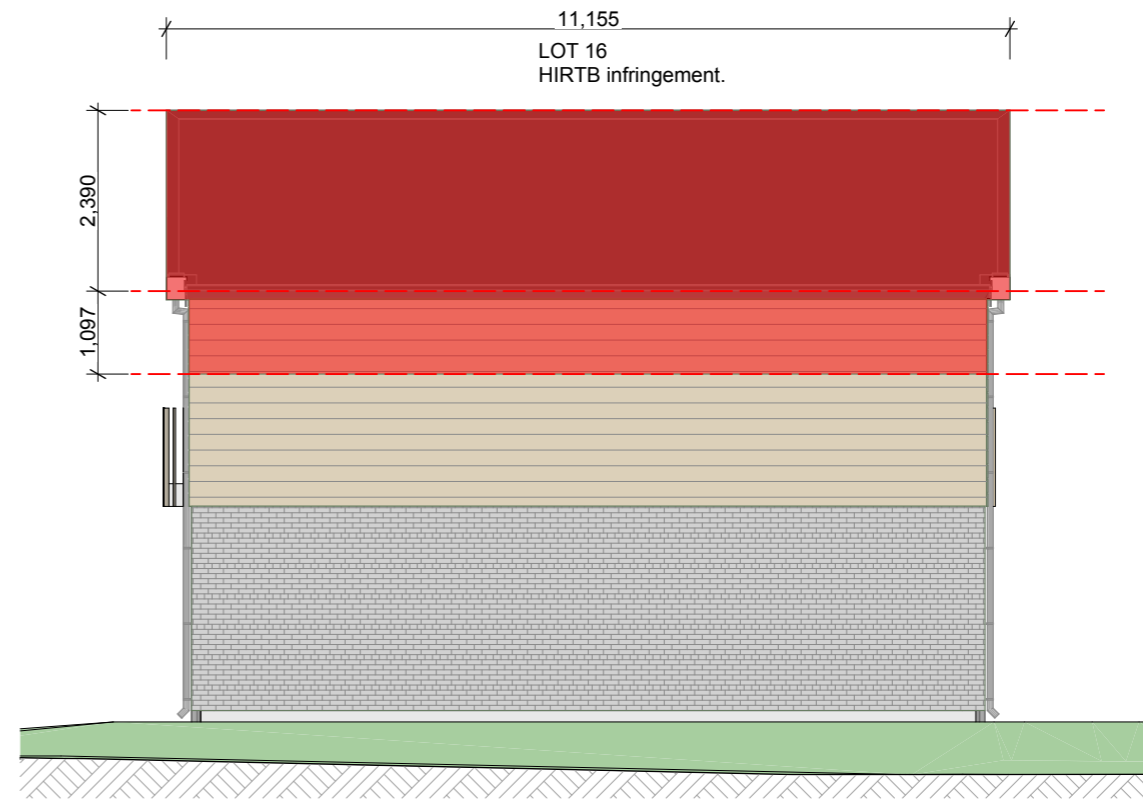
Scale @A3: 1:100

Northwest Developments Limited

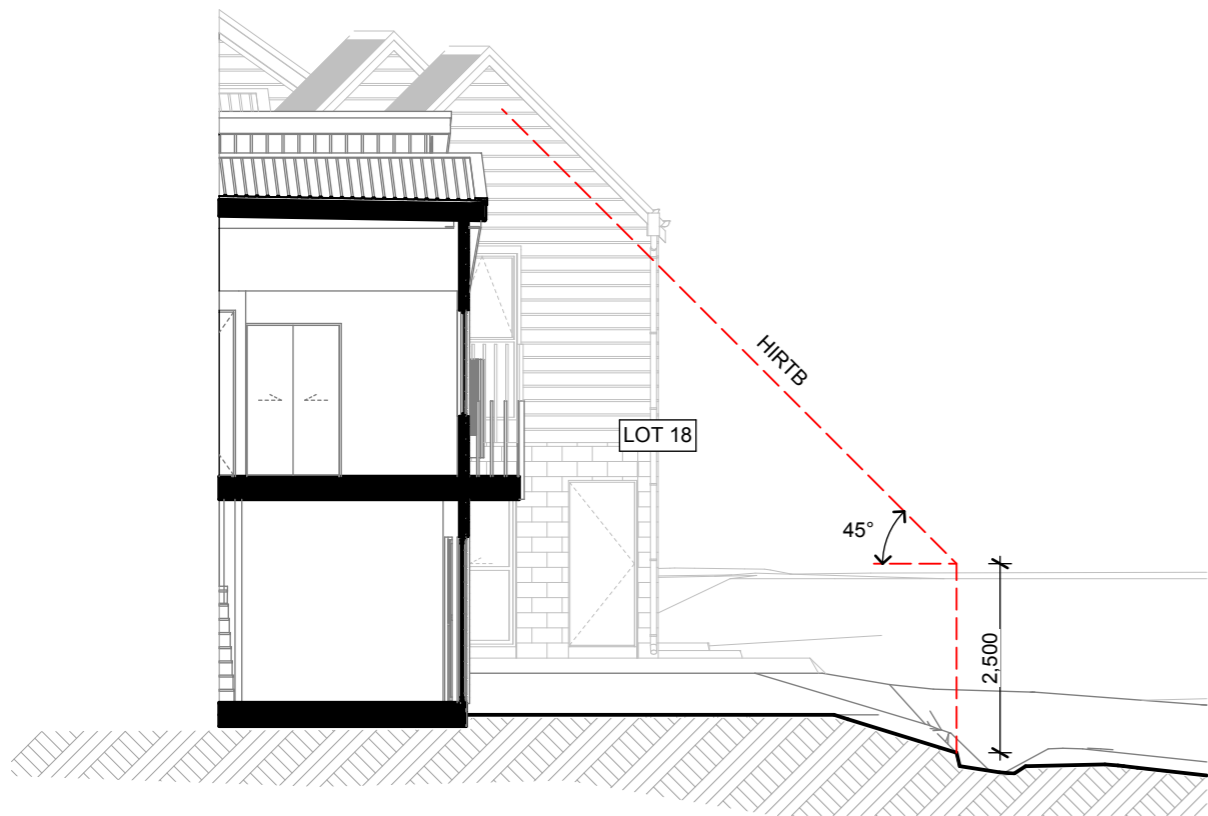
18 Scott Road



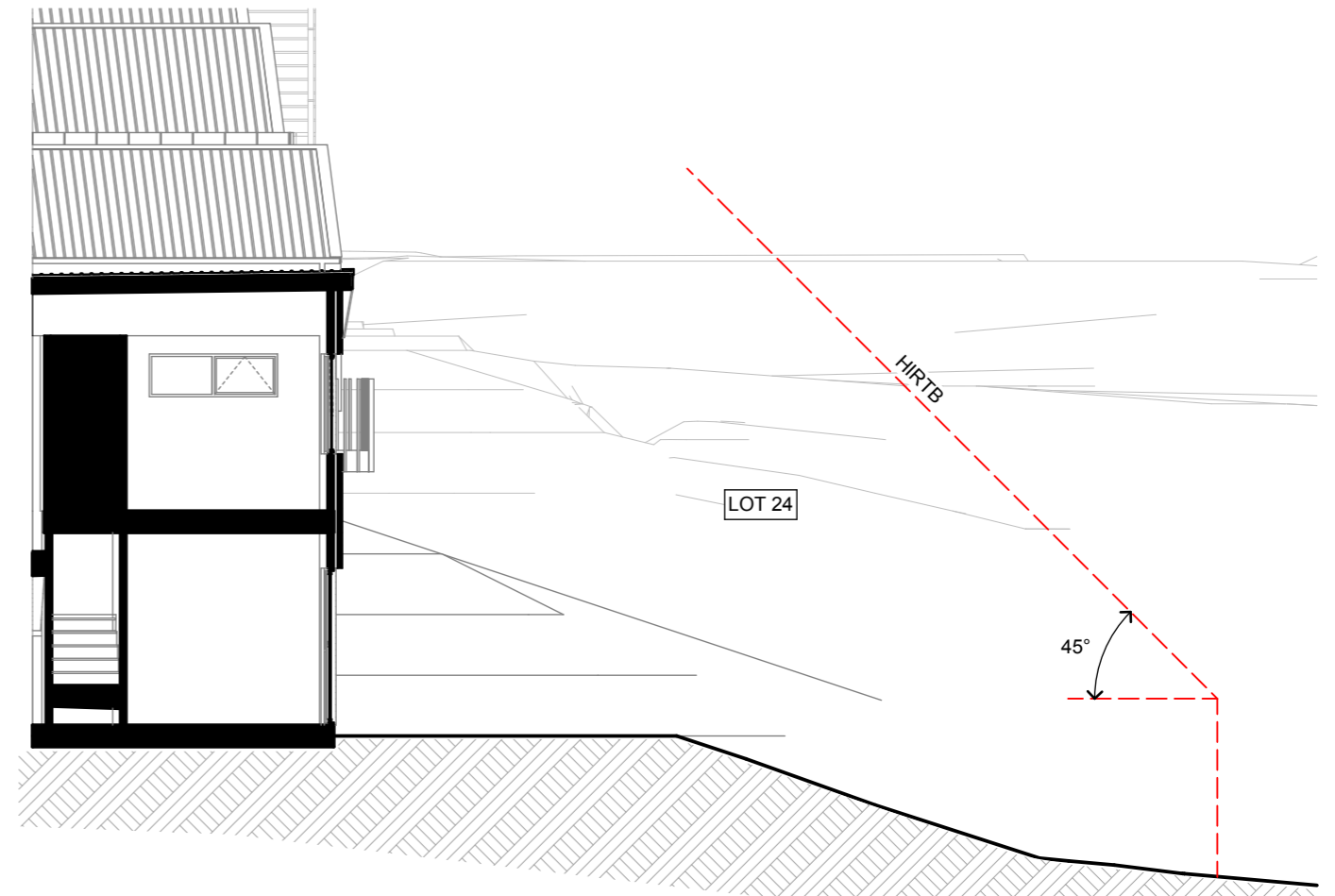
1 Section C East Boundary 1:100



4 Lot 16 - HIRTB infringement



2 Section D East Boundary 1:100



3 Section E East Boundary 1:100

Site Sections East Bdy 2

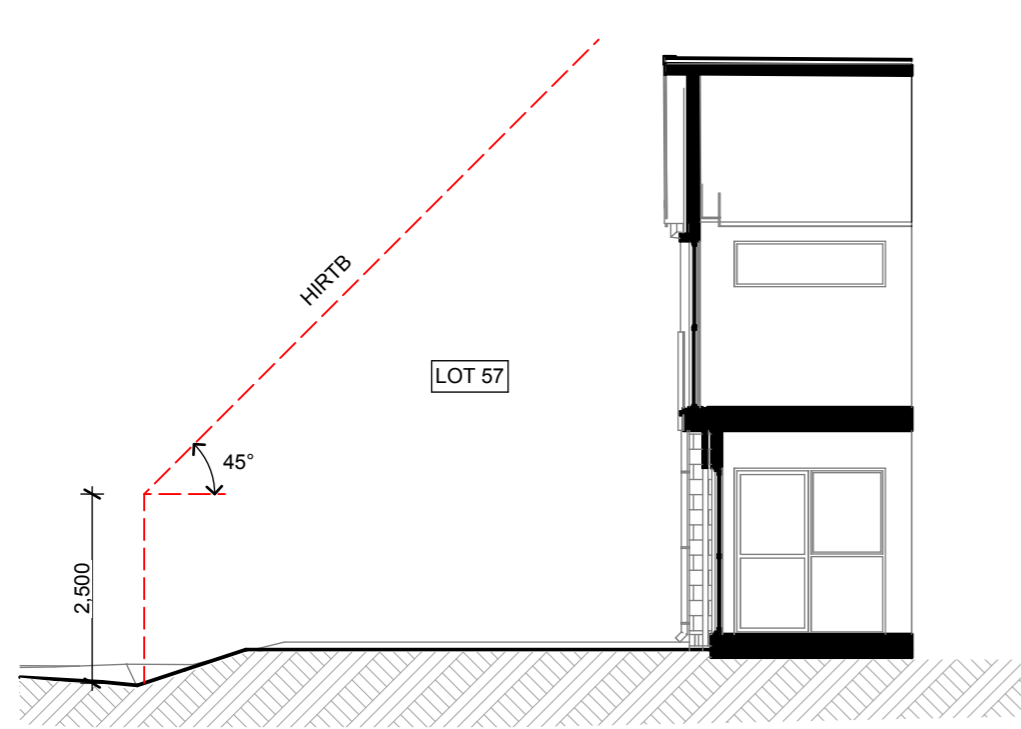
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A402	B
© walker residential architects ltd.	



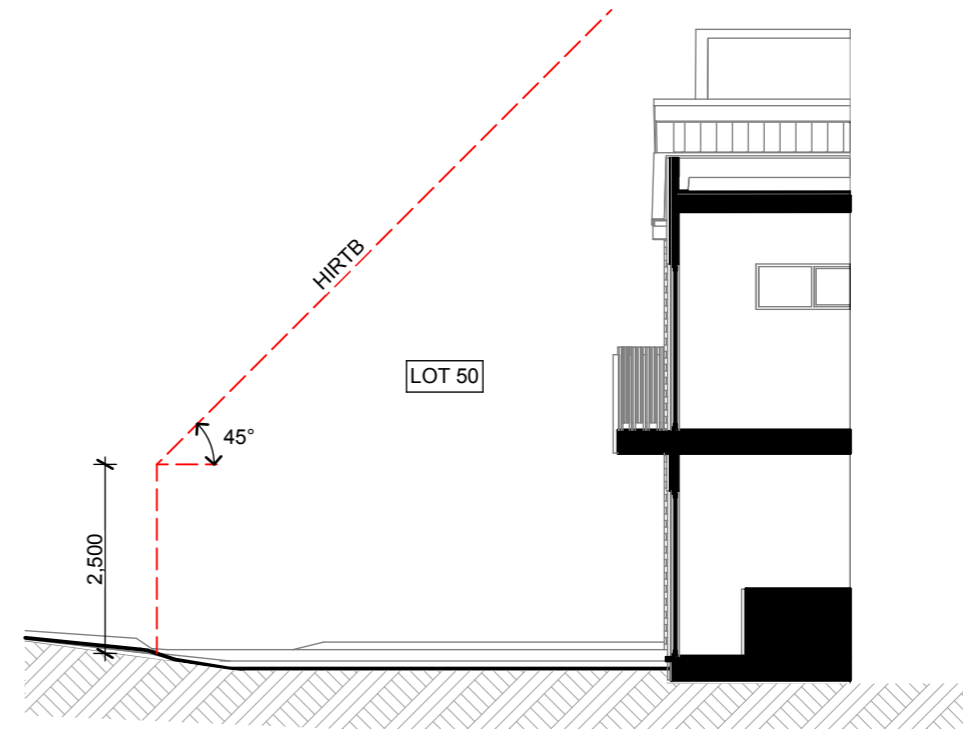
Northwest Developments Limited

18 Scott Road

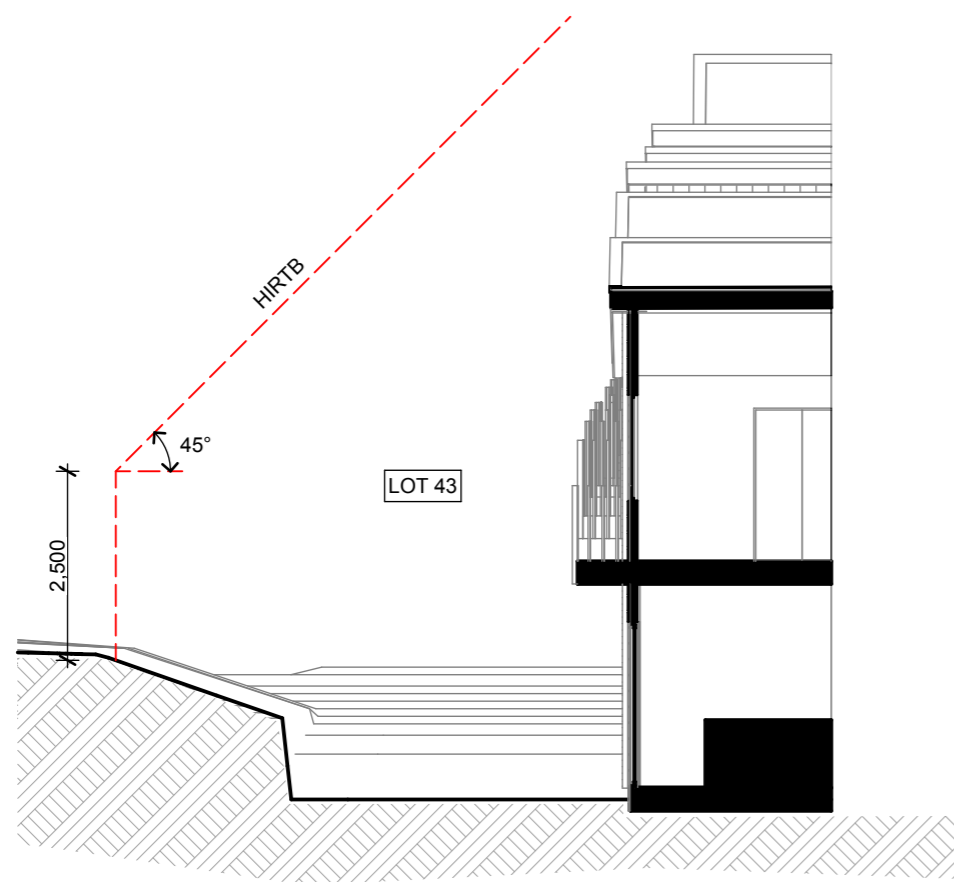
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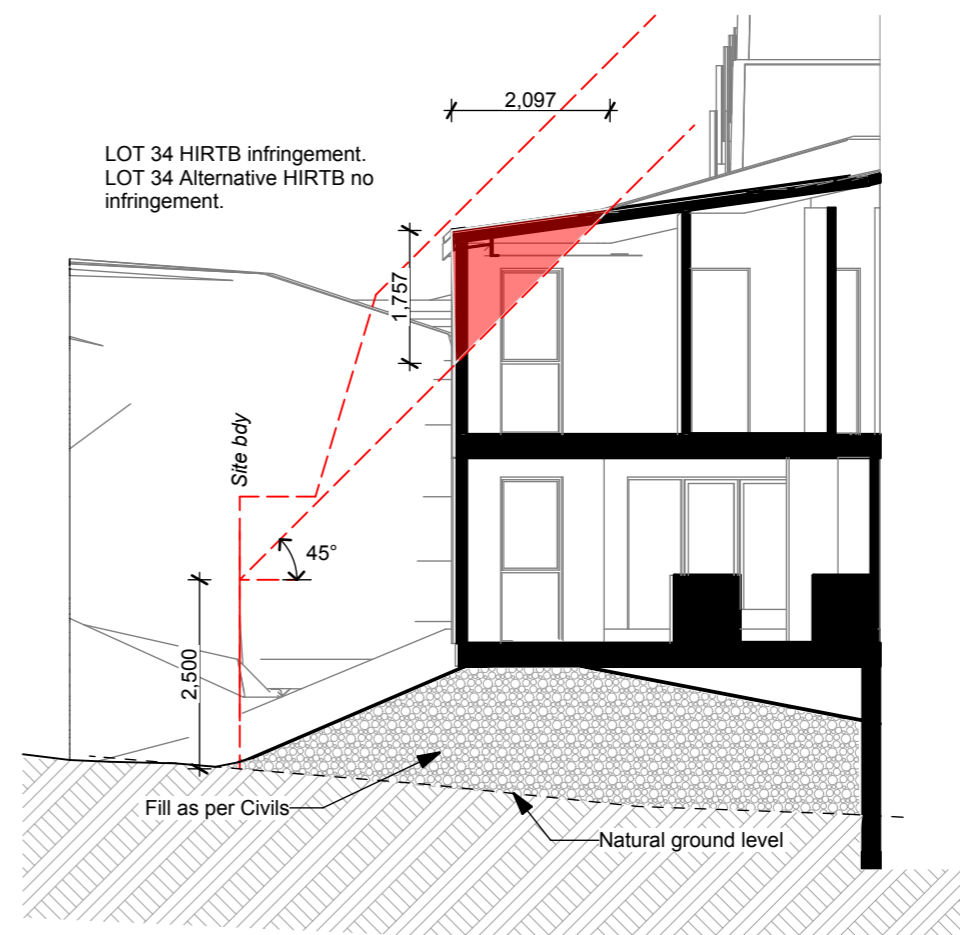
1 Section F West Boundary 1:100



2 Section G West Boundary 1:100



3 Section H West Boundary 1:100



4 Section I West Boundary 1:100

Site Sections West Bdy 1

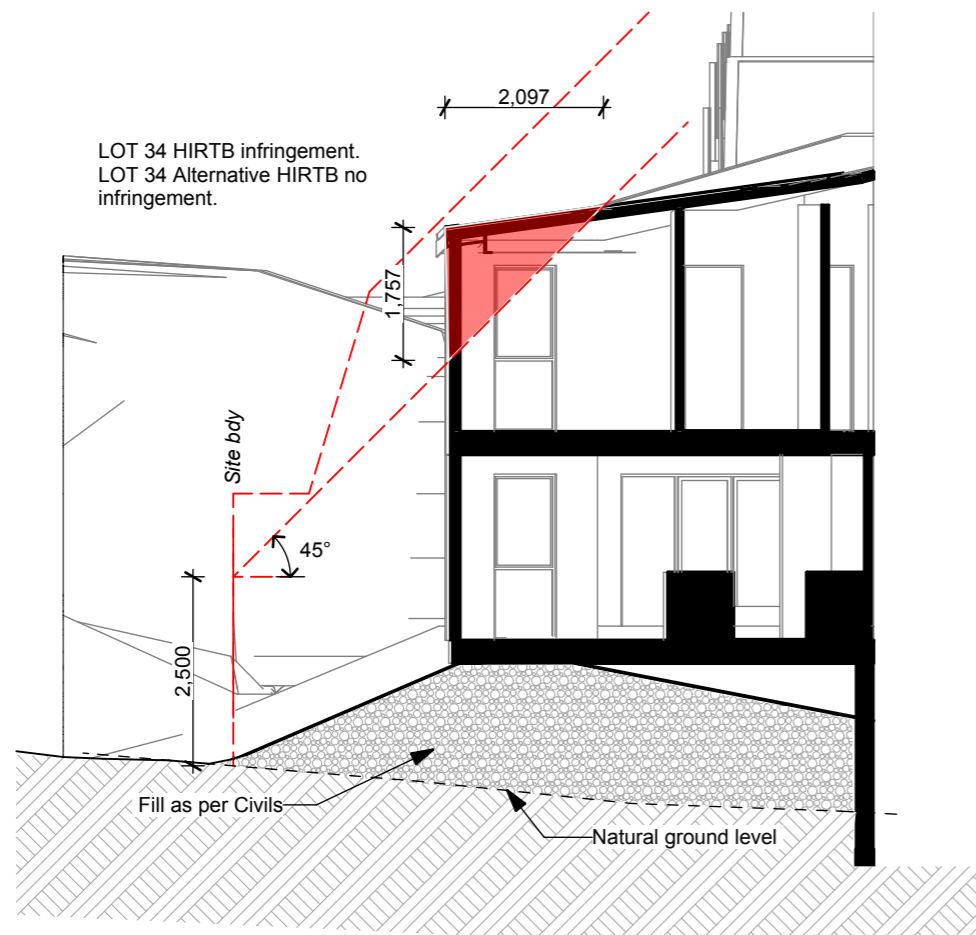
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A403	B
© walker residential architects ltd.	



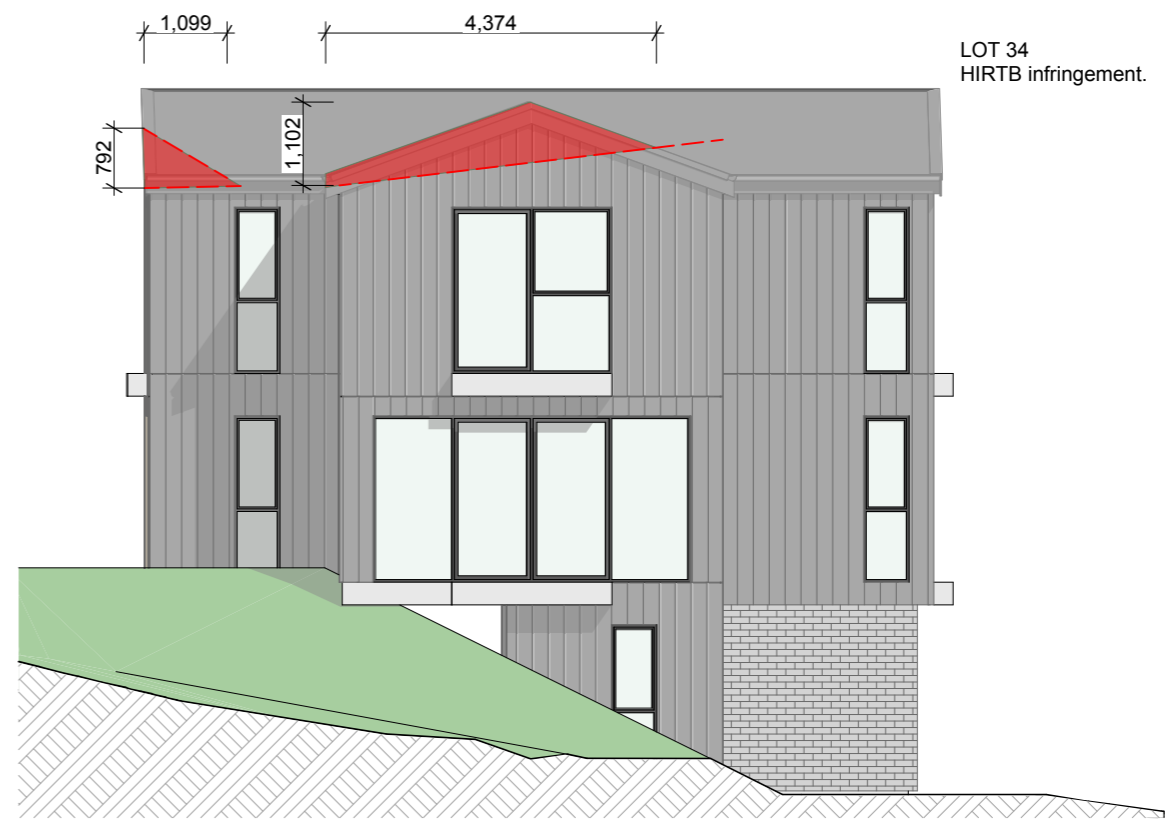
Scale @A3: 1:100

Northwest Developments Limited

18 Scott Road



1 Section I West Boundary 1:100



2 Sept 22 - 8:00am

Site Sections West Bdy 2

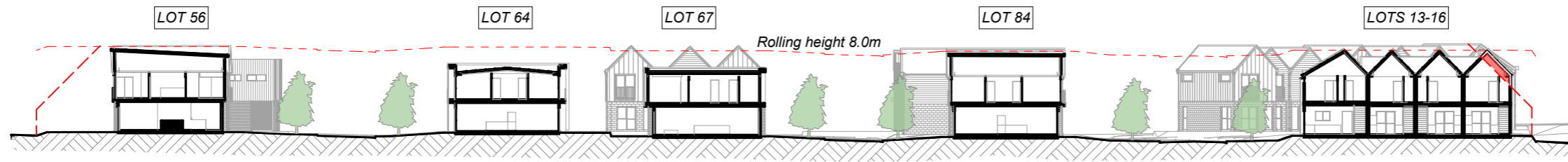
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
A404	B
© walker residential architects ltd.	



Scale @A3: 1:100

Northwest Developments Limited

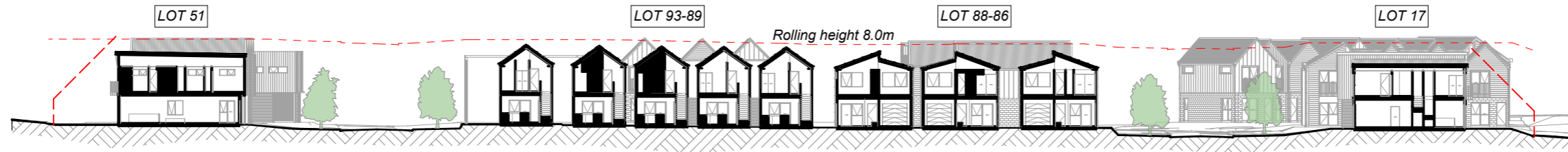
18 Scott Road



1

OA SITE SECTION 1

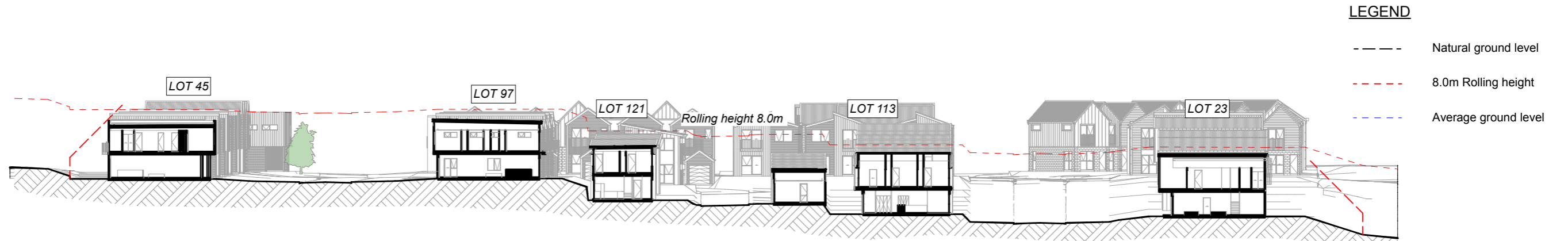
1:500



2

OA SITE SECTION 2

1:500



LEGEND

- Natural ground level
- - - 8.0m Rolling height
- - - Average ground level

3

OA SITE SECTION 3

1:500



4

OA SITE SECTION 4

1:750

Site Sections OA1

Rev Date 25/07/2022

Job No. 5864

Sheet No. Rev.

A405 A

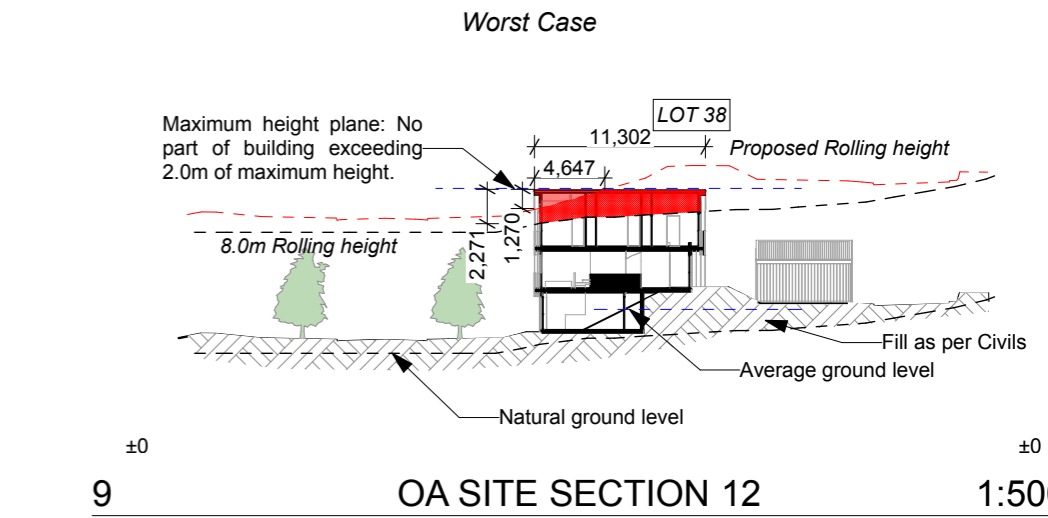
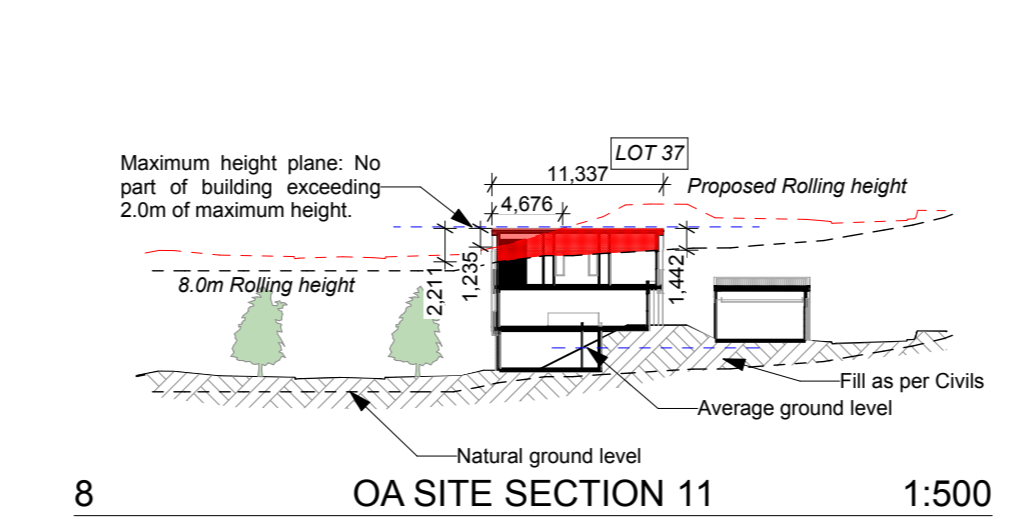
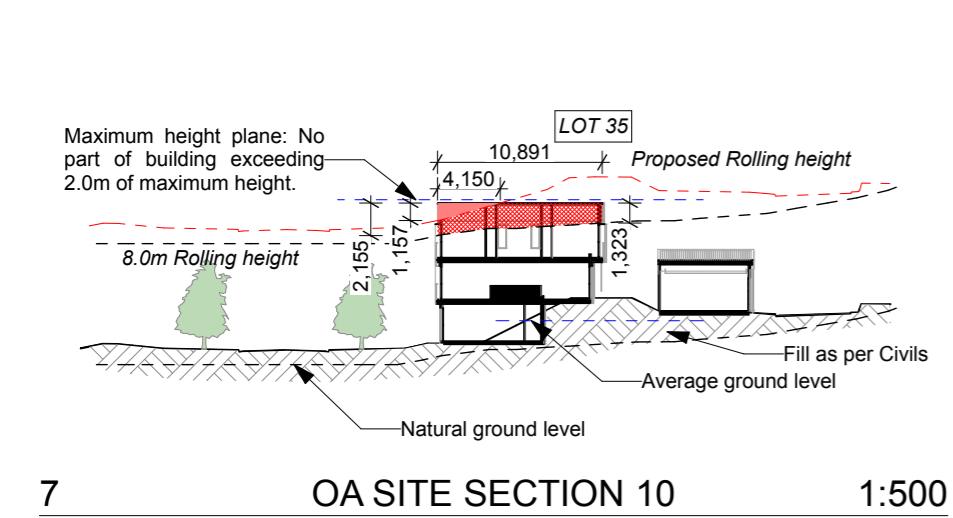
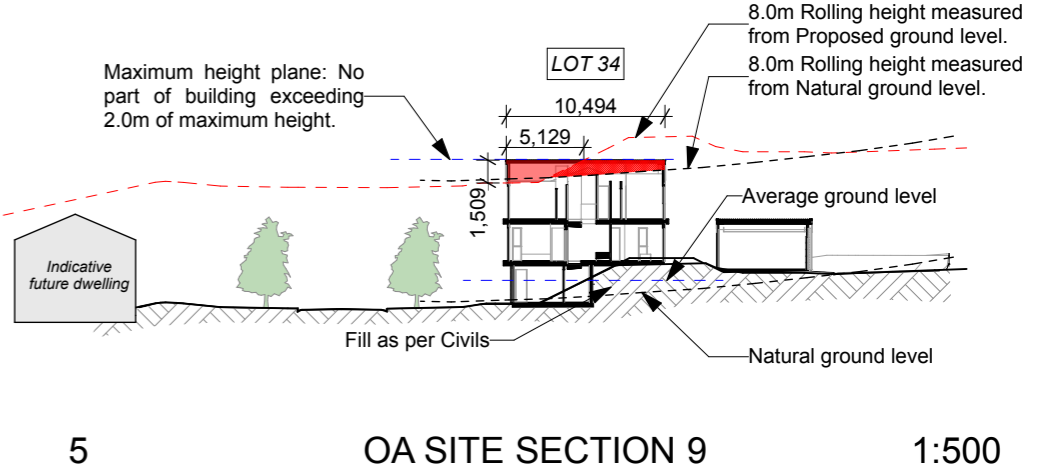
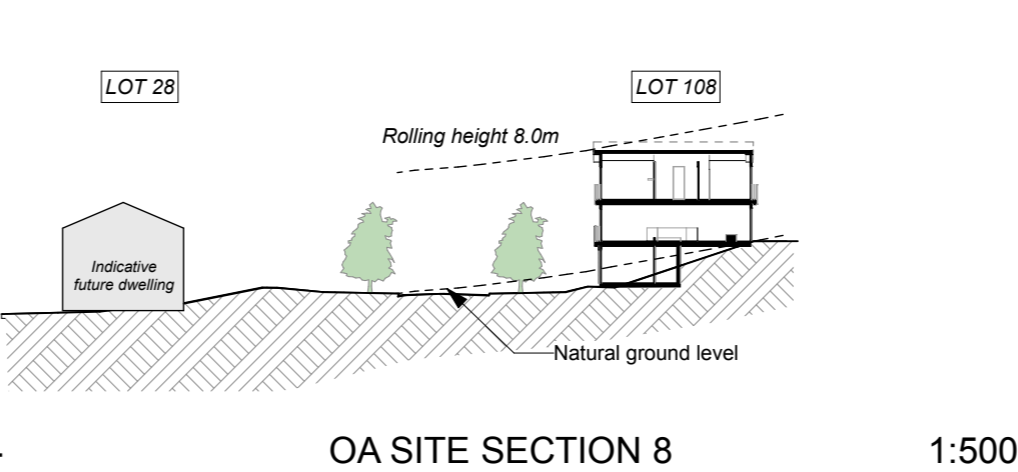
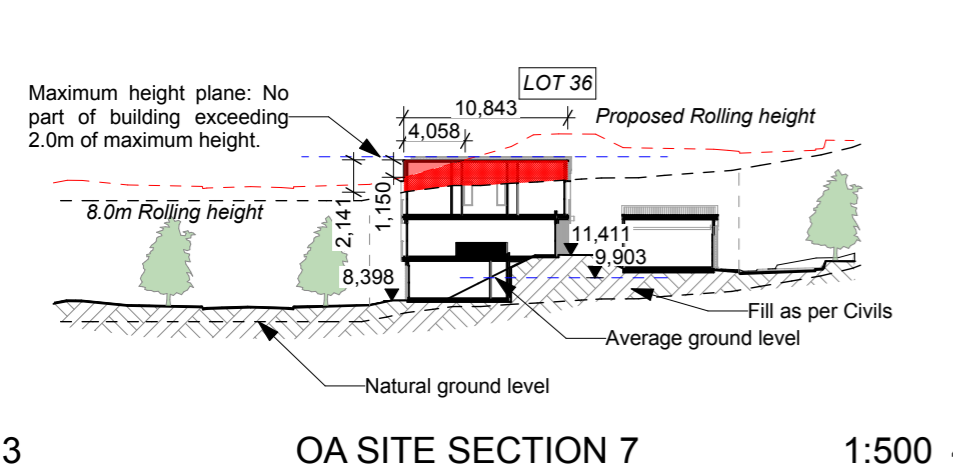
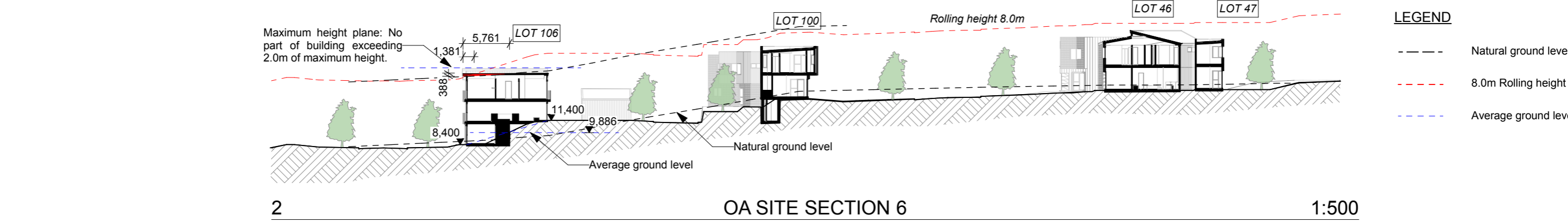
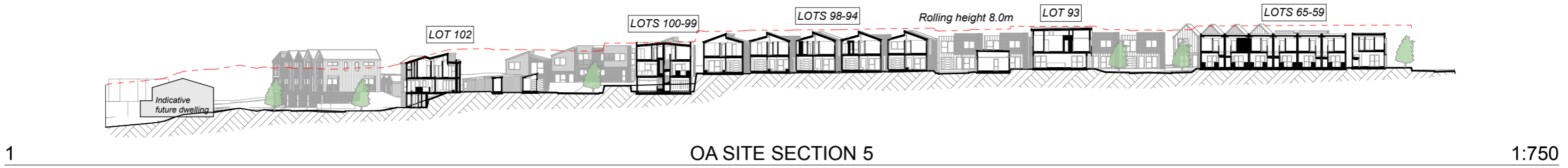
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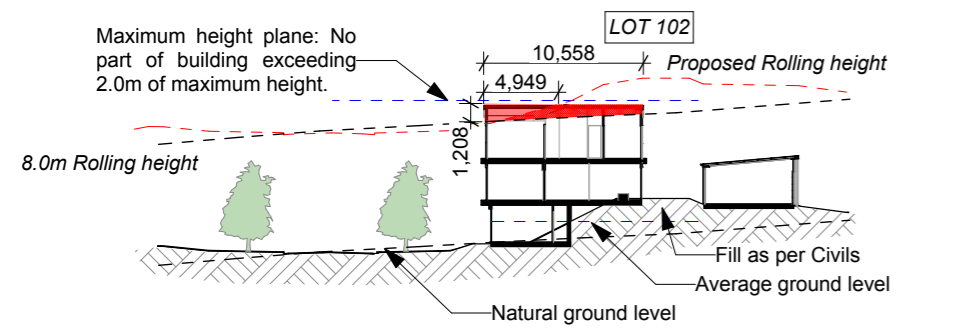
© walker residential architects ltd.



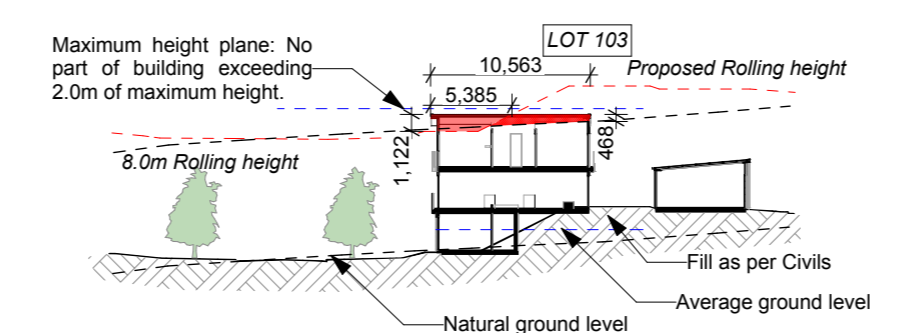
Northwest Developments Limited

18 Scott Road

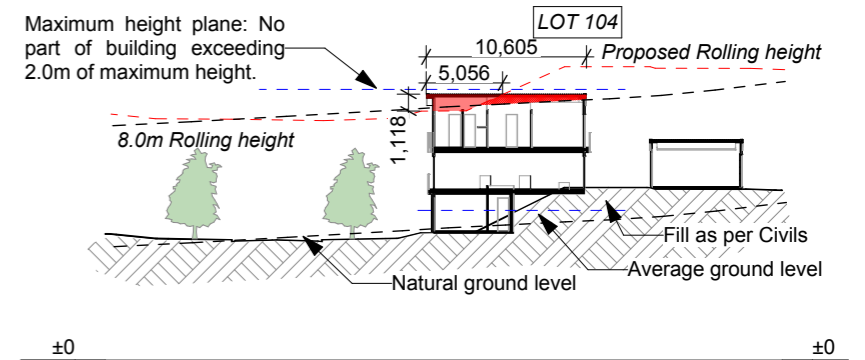




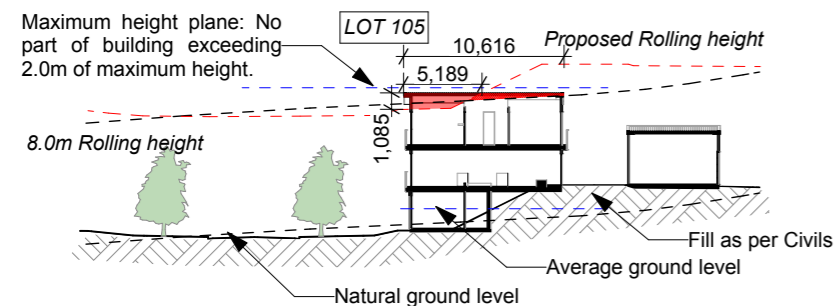
2 OA SITE SECTION 13 1:500



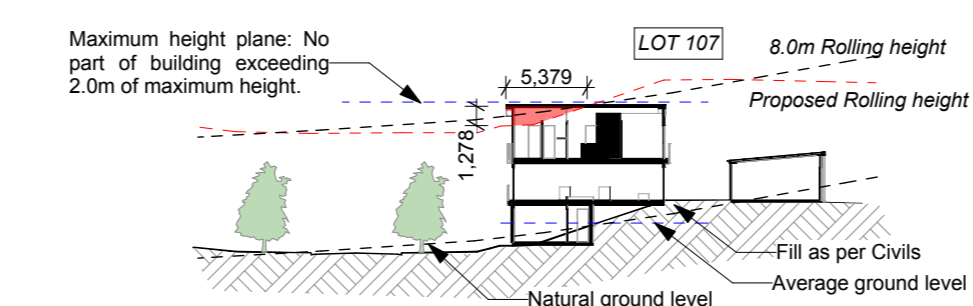
3 OA SITE SECTION 14 1:500



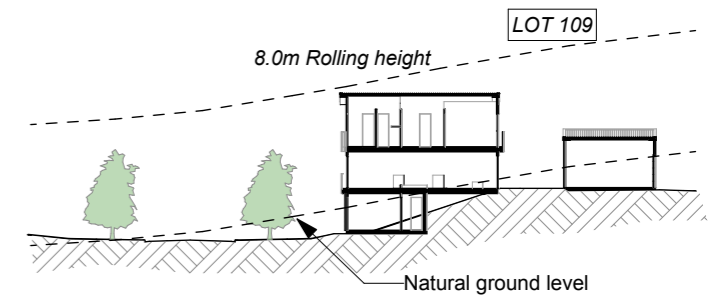
4 OA SITE SECTION 15 1:500



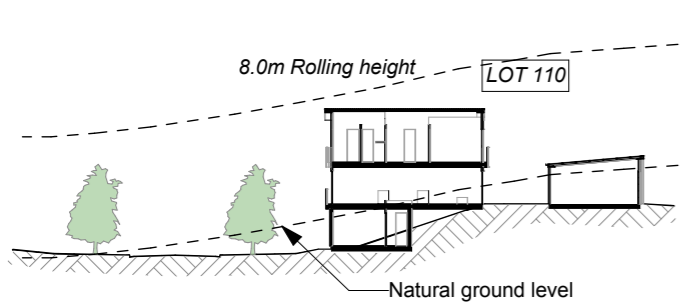
5 OA SITE SECTION 16 1:500



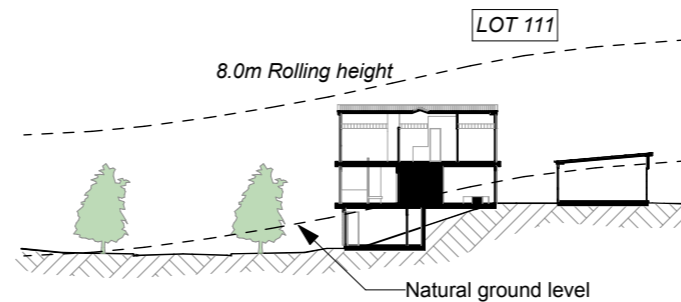
6 OA SITE SECTION 17 1:500



7 OA SITE SECTION 18 1:500

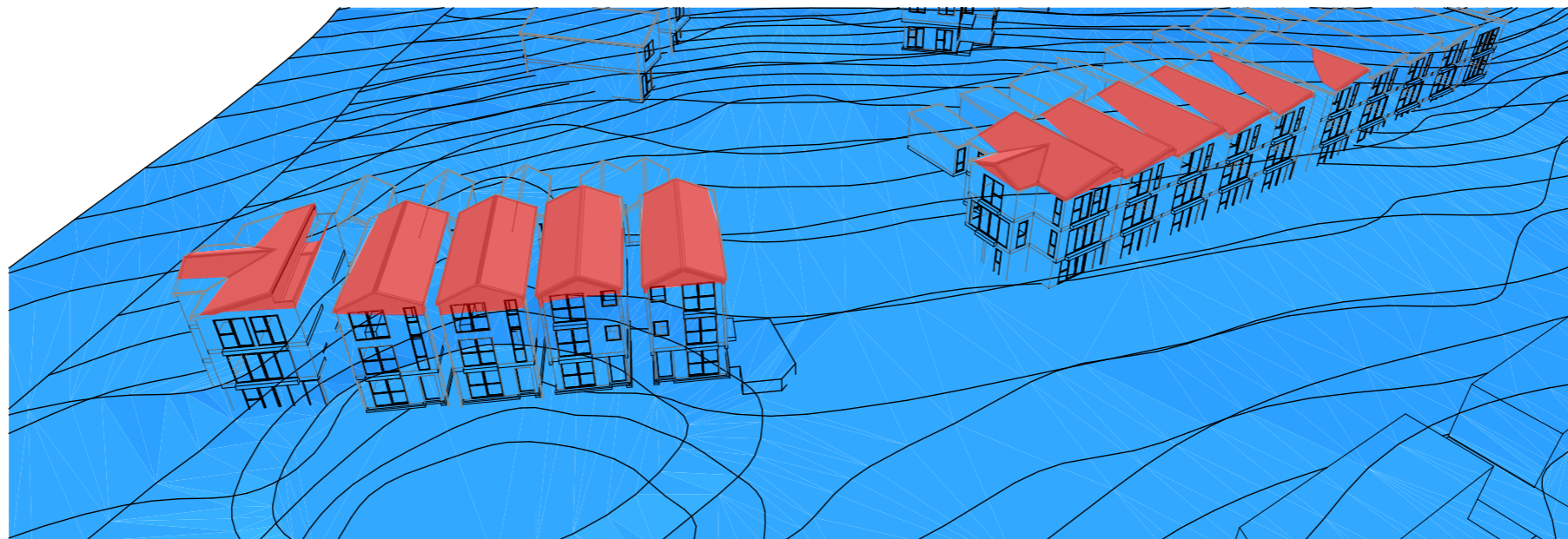


8 OA SITE SECTION 19 1:500



9 OA SITE SECTION 20 1:500

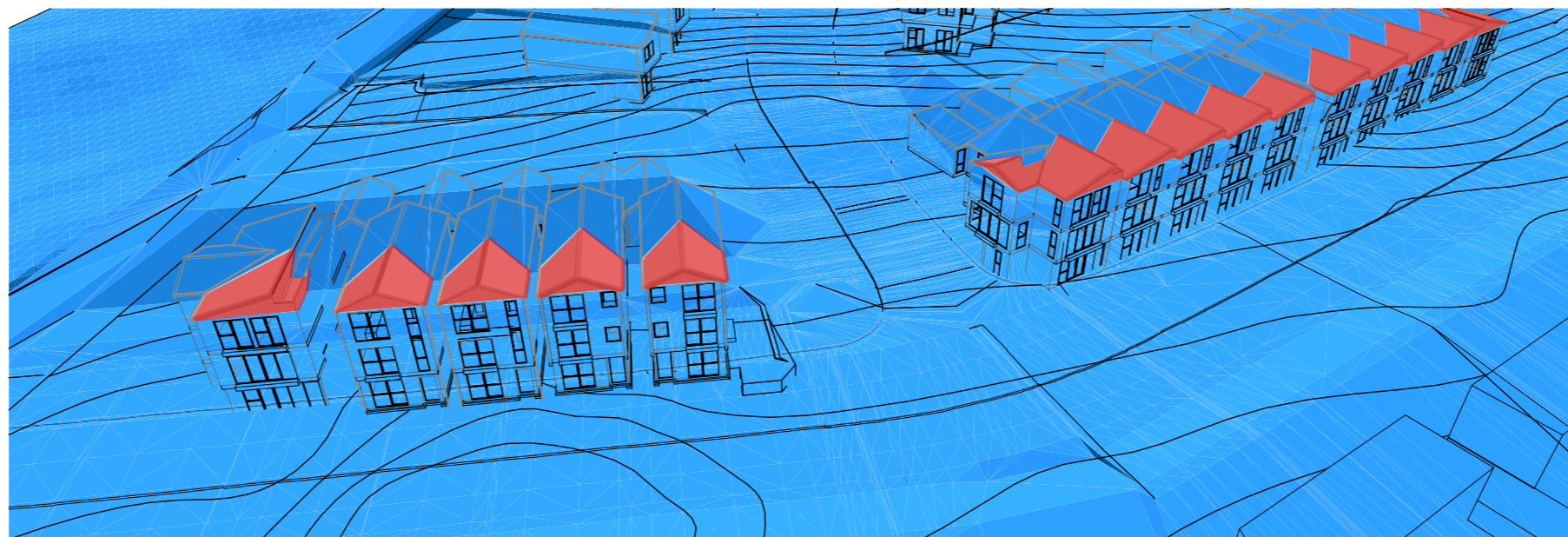
- LEGEND**
- Natural ground level
 - - - 8.0m Rolling height
 - - - Average ground level



1

Rolling Height NGL 8m

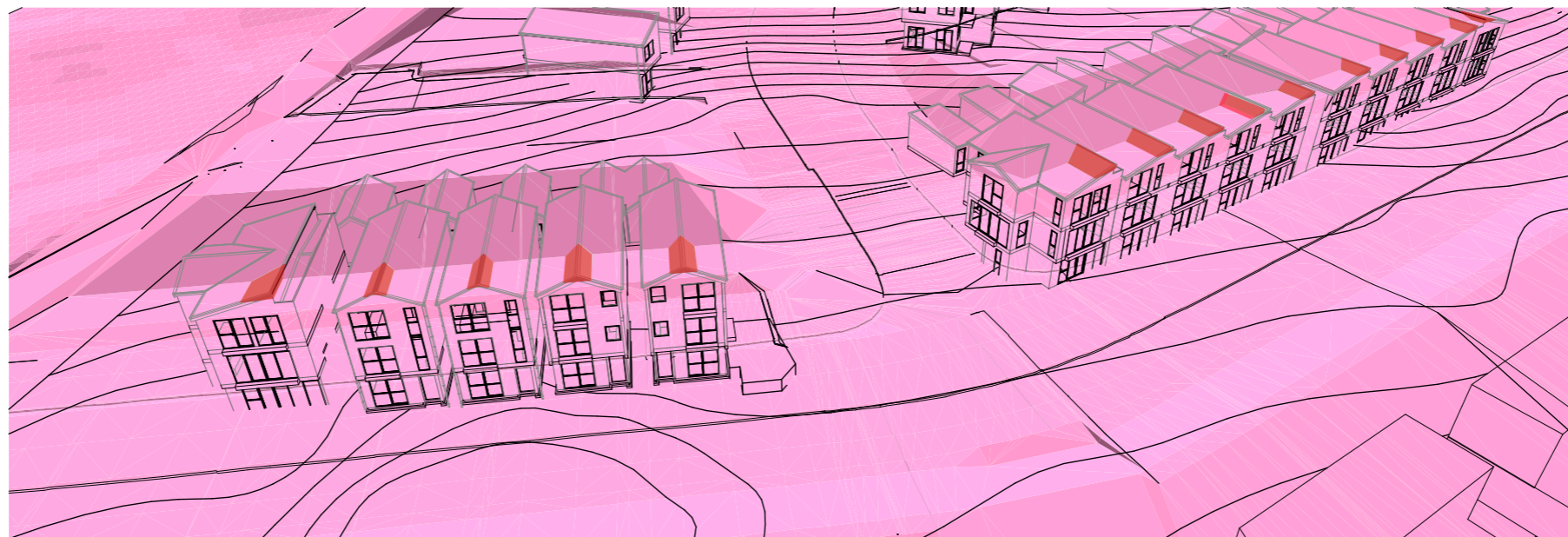
1:200



2

Rolling Height Proposed 8m

1:200



3

Rolling Height Proposed 8+1m

1:200

Northwest Developments Limited

18 Scott Road

Compliance

Rev Date **9/03/2022**

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A411 B

Scale @A3: 1:200

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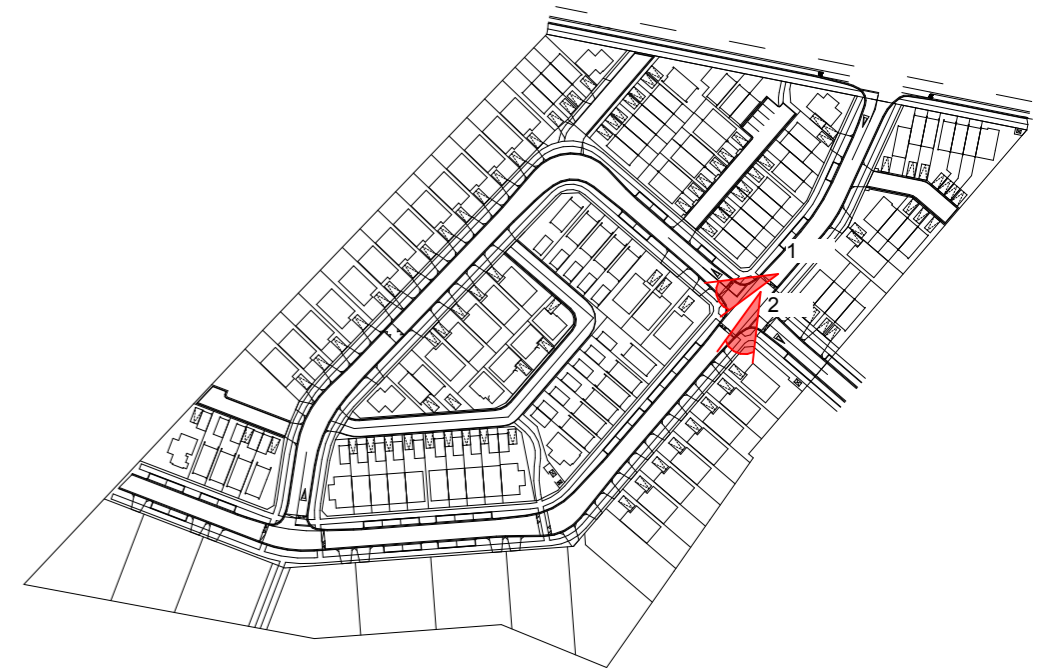




1 Limestone Drive Street View 1



2 Limestone Drive Street View 2

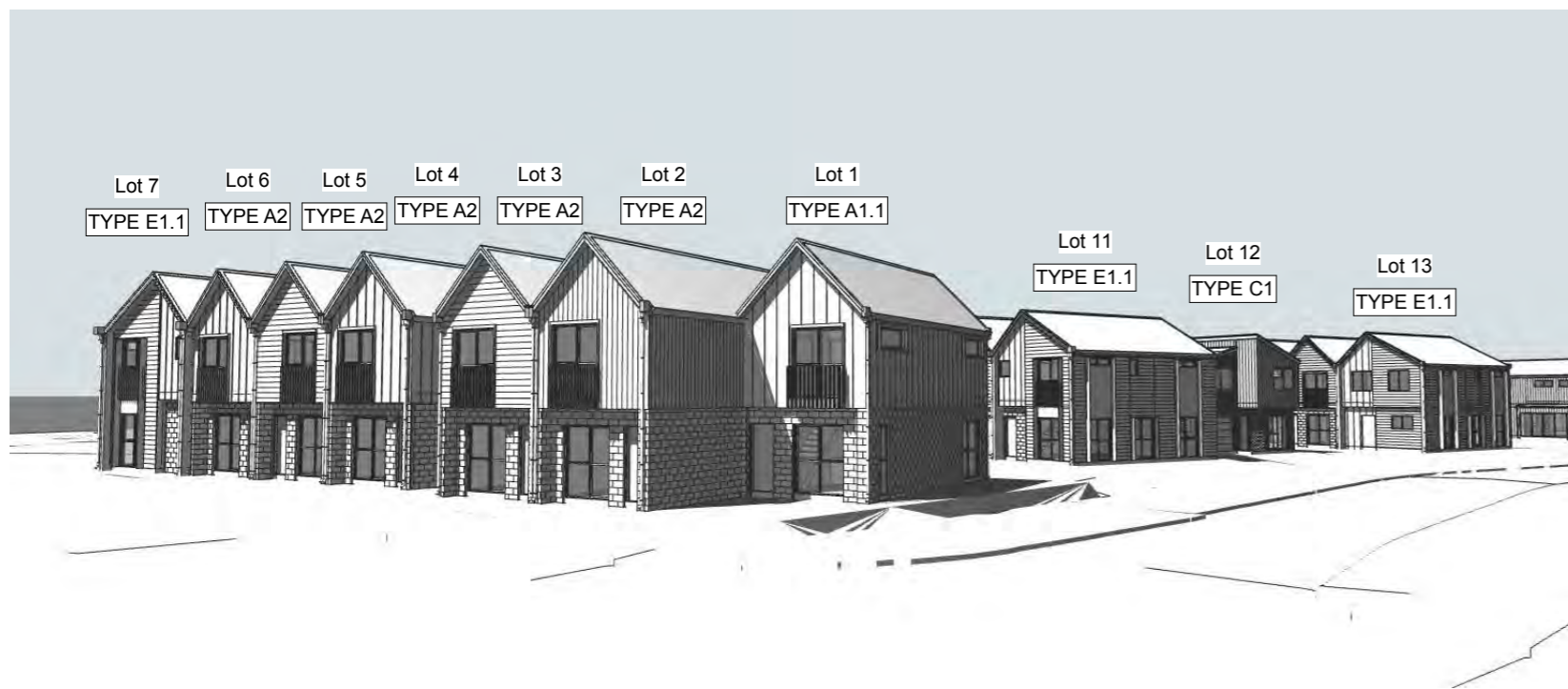


Perspectives	Rev Date	9/03/2022
	Job No.	5864
	Sheet No.	Rev.
	Scale @A3:	A701 B
© walker residential architects ltd.		walker residential architects



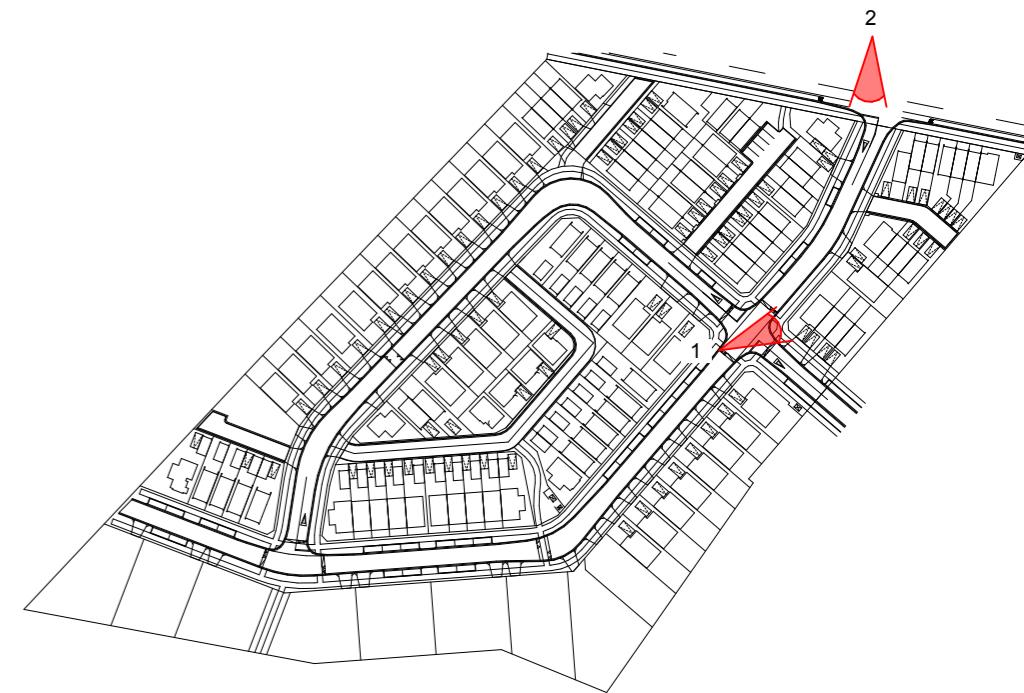
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Limestone Drive Street View 3



2

Scott Rd Street View 4



Perspectives

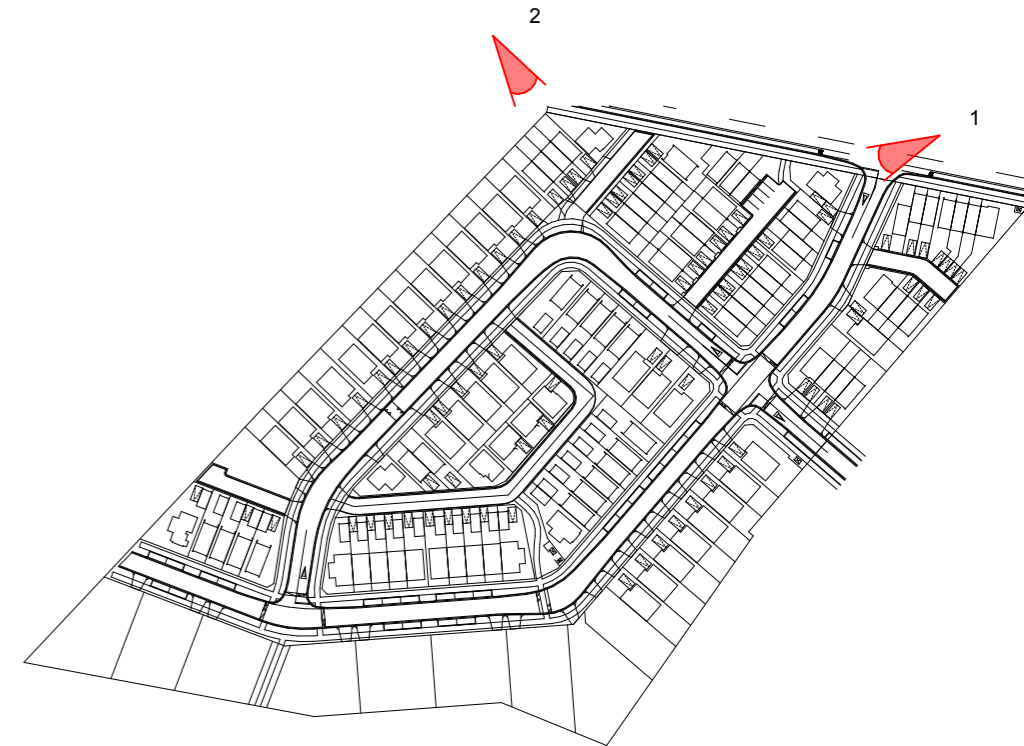
Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
Scale @A3:	A702 B





1

Scott Rd Street View 5



2

Scott Rd Street View 6

Perspectives

Rev Date **9/03/2022**
Job No. **5864**

Sheet No. Rev.

Scale @A3:

A703 **B**

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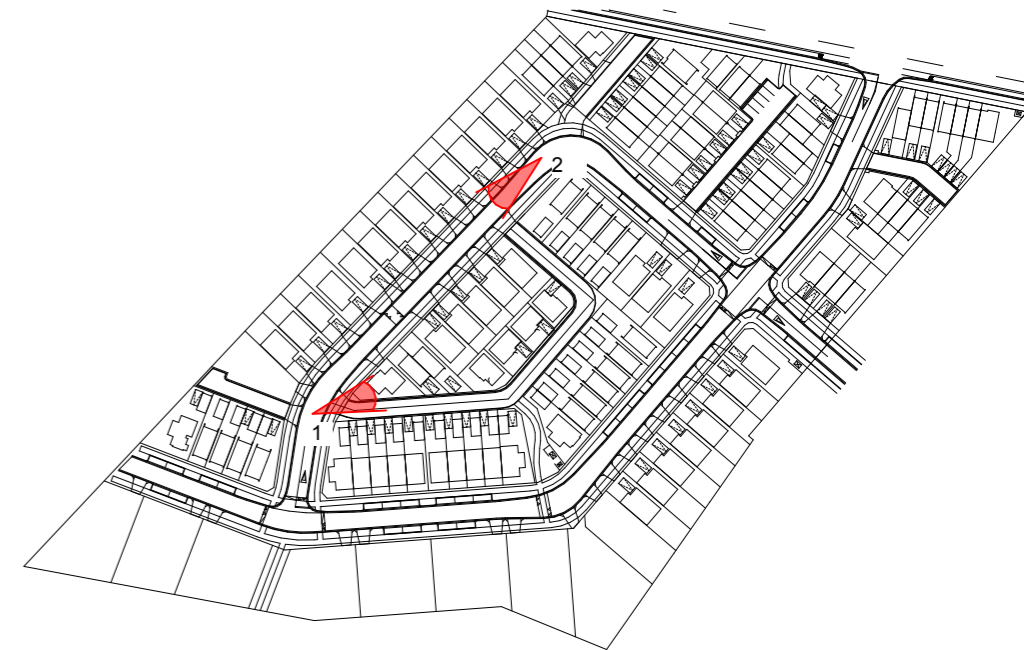
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Picnic Point Rd Street View 8



1

Picnic Point Rd Street View 7



Perspectives

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Job No. **5864**

Sheet No. Rev.

Scale @A3:

A704 **B**

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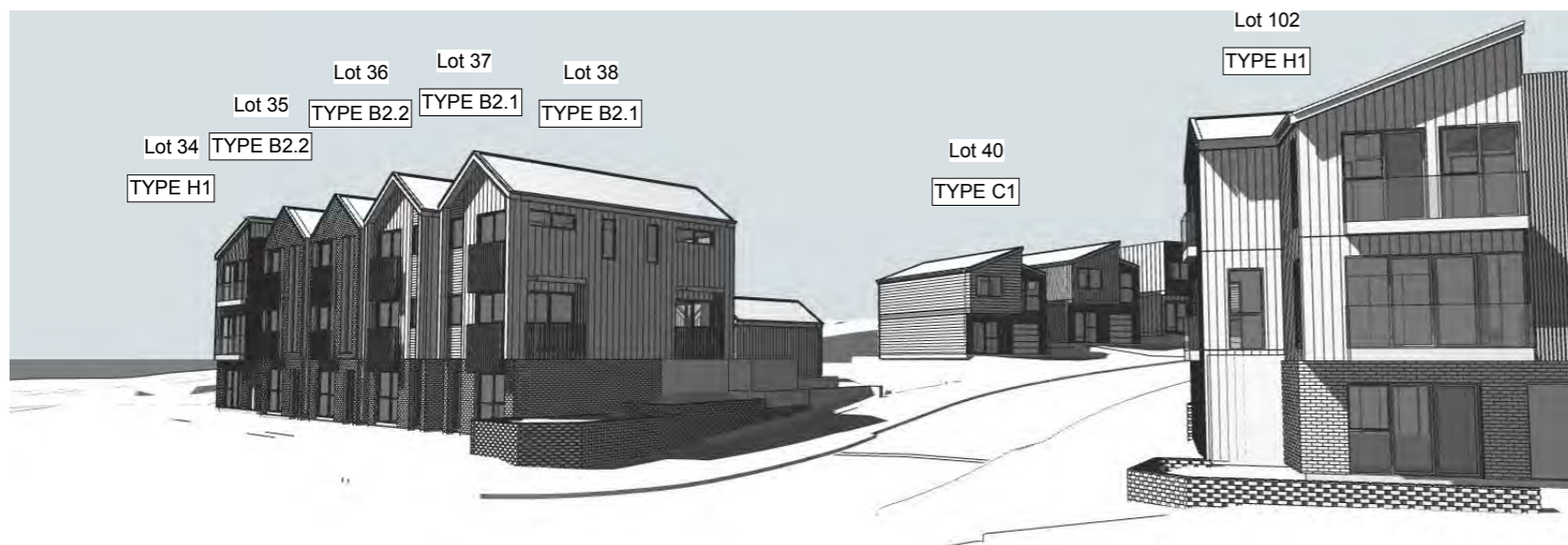


Northwest Developments Limited

18 Scott Road



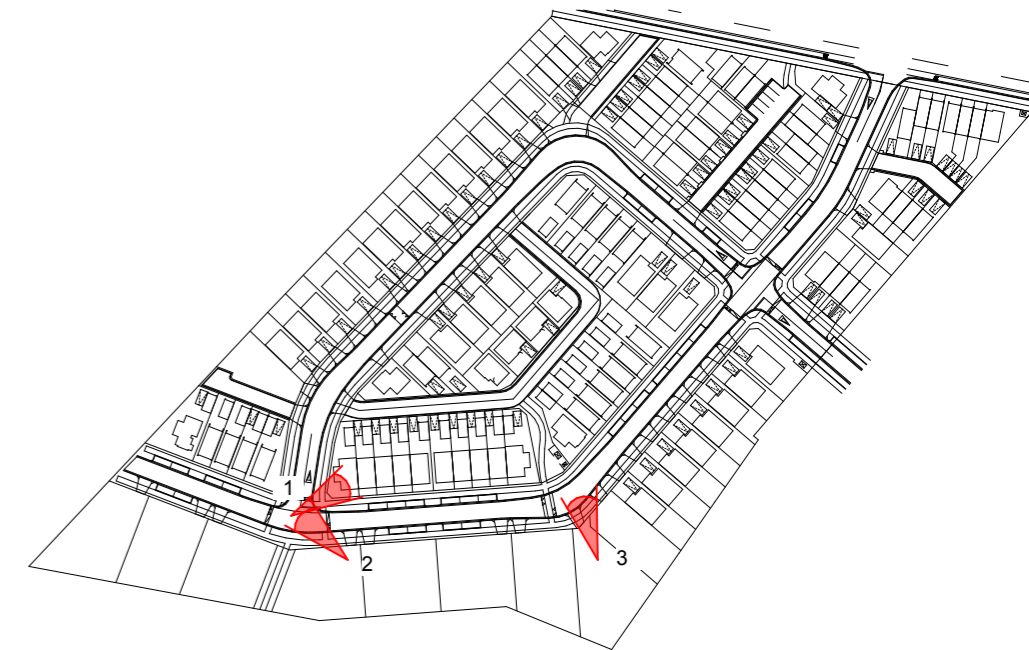
1 Limestone Drive Street View 9

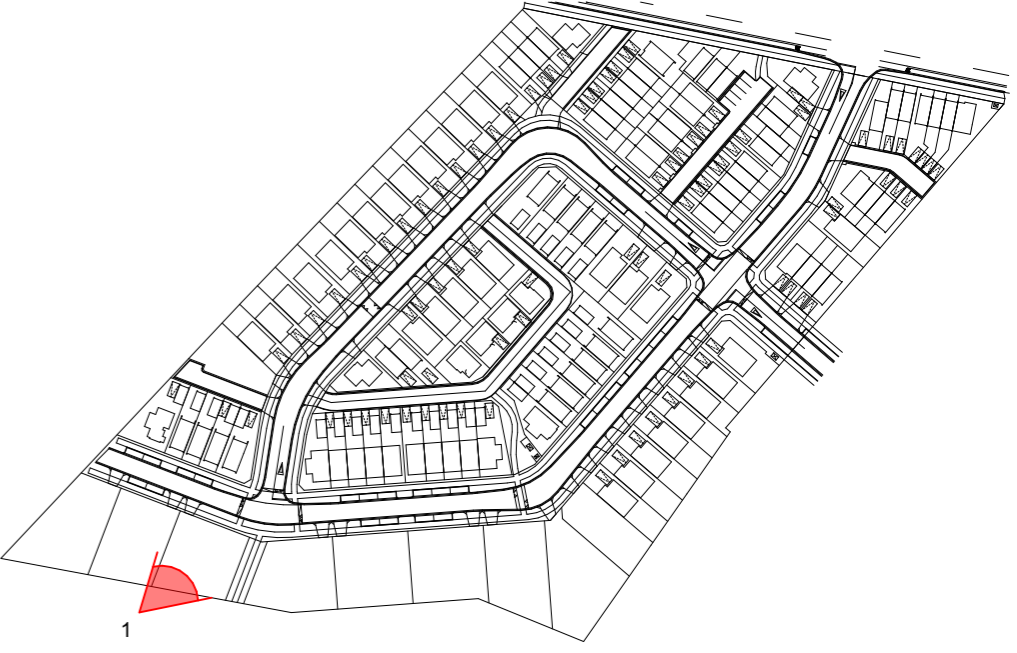


2 Limestone Drive Street View 10



3 Limestone Drive Street View 11





Perspectives	Rev Date	25/07/2022
	Job No.	5864
	Sheet No.	Rev.
	A706	A
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Northwest Developments Limited

18 Scott Road

UNIT TYPE A1.1

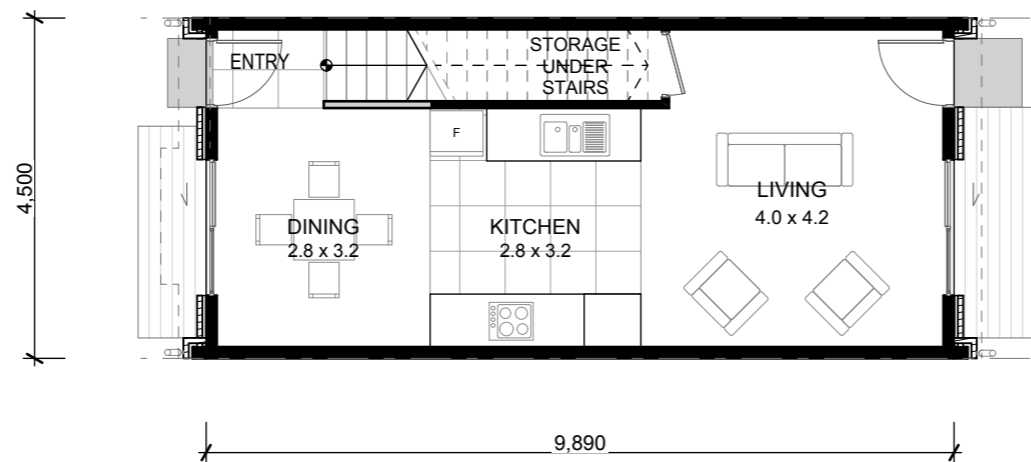
AREAS	
TYPE A1.1 - GROUND	44.61
TYPE A1.1 - UPPER	47.21
	91.82 m²

TYOLOGY SUMMARY

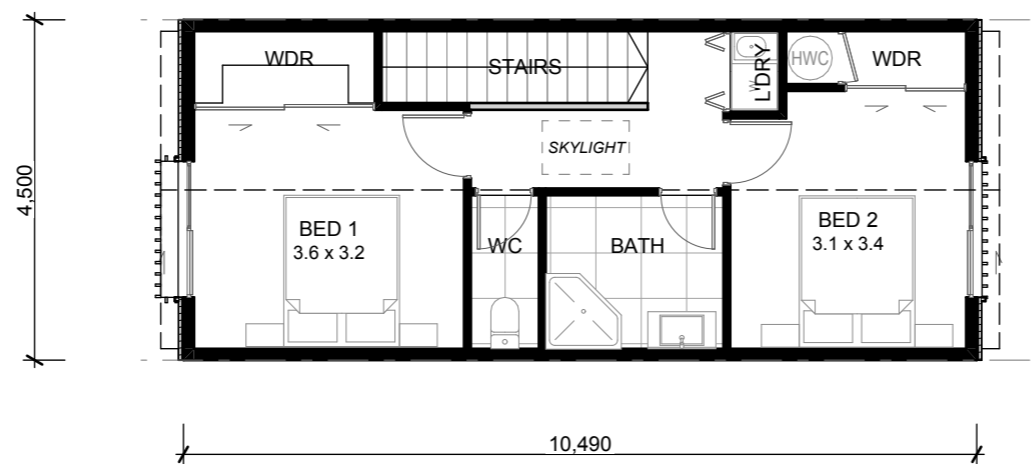
Levels	2
Car Pad	1
Bathroom	1
WC	1



Front

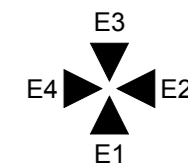
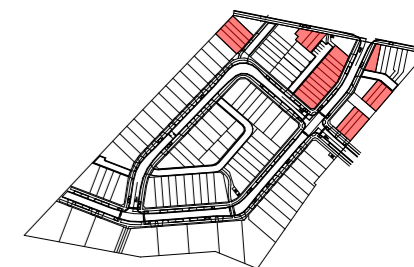


A1.1 - Ground Floor 1:100



A1.1 - First Floor 1:100

SITE LOCATIONS



Elevation Reference

Floor Plans

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. Rev.

A1.1-A200 B

Scale @A3: 1:100

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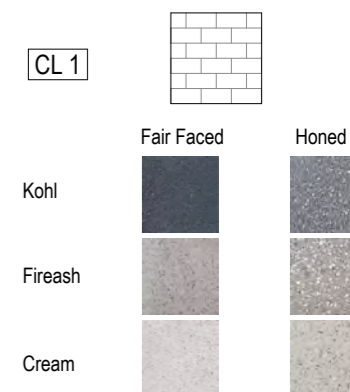
Northwest Developments Limited

18 Scott Road

UNIT TYPE A1.1

MATERIALS AND COLOURS

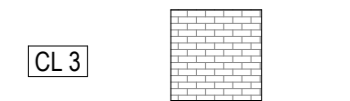
CONCRETE MASONRY VENEER 70 SERIES



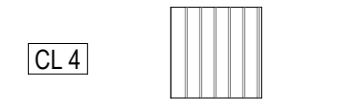
STANDING SEAM METAL CLADDING



BRICK VENEER - PAINTED



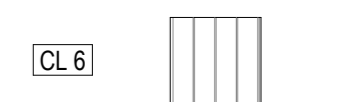
RUSTICATED WEATHERBOARD - VERTICAL



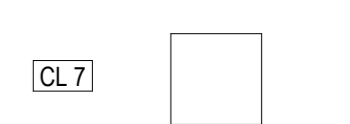
RUSTICATED WEATHERBOARD - HORIZONTAL



FIBRE CEMENT BOARD - VERTICAL



FIBRE CEMENT PANELS



PAINT AND STAIN COLOUR PALETTE



TYPE A - OPTION1 ELEVATION 4 1:100



TYPE A - OPTION2 ELEVATION 4 1:100



TYPE A - OPTION3 ELEVATION 4 1:100



TYPE A - OPTION1 ELEVATION 2 1:100



TYPE A - OPTION2 ELEVATION 2 1:100



TYPE A - OPTION3 ELEVATION 2 1:100

Elevations

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. Rev.

A1.1-A300 B

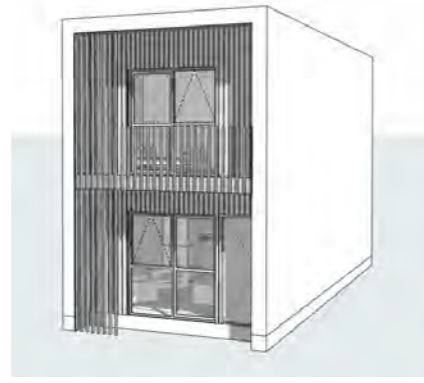
© walker residential architects ltd.



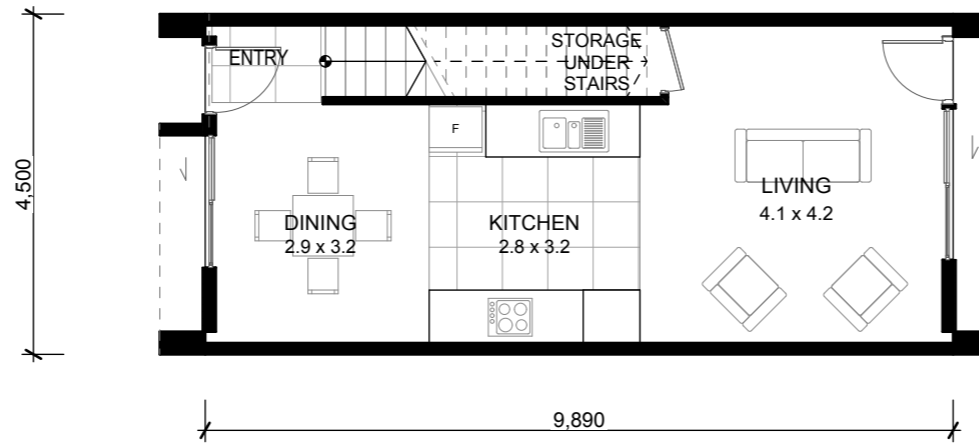
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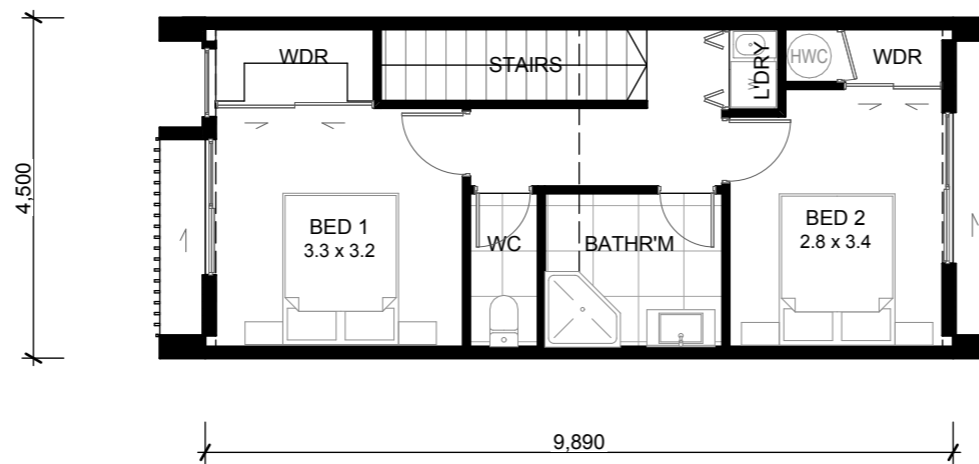
Front



Rear



A1.2 - Ground Floor 1:100



A1.2 - First Floor 1:100

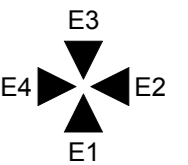
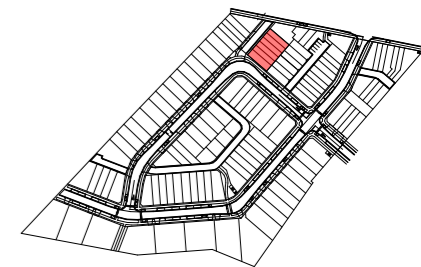
AREAS

TYPE A1.2 - GROUND	45.45
TYPE A1.2 - UPPER	45.23
Total	90.68 m²

TYPOLGY SUMMARY

Levels	2
Car Pad	1
Bathroom	1
WC	1

SITE LOCATIONS



Elevation Reference

Floor Plans

Rev Date **9/03/2022**

Job No. **5864**

Sheet No. Rev.

A1.2-A200 B

© walker residential architects ltd.



Scale @A3: 1:100

UNIT TYPE A1.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

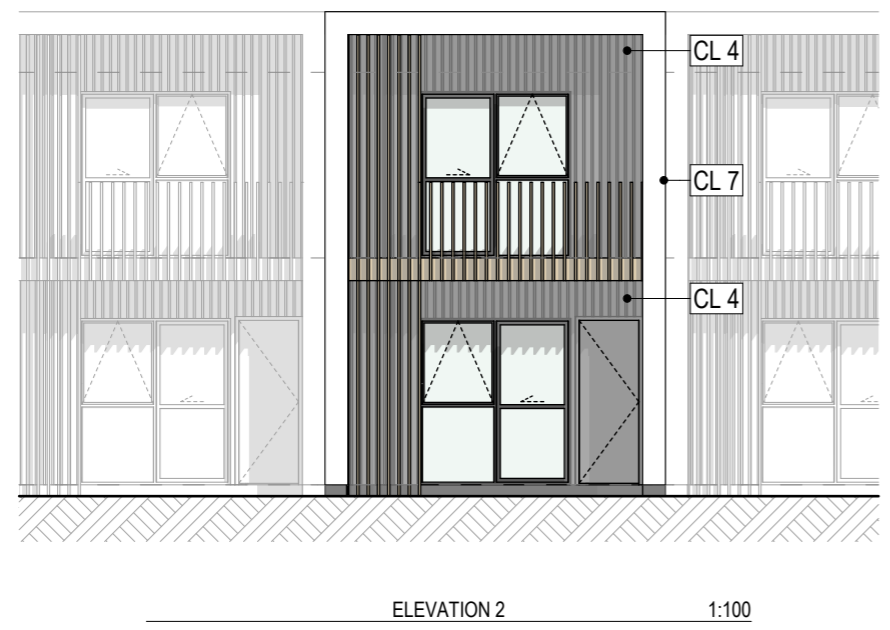
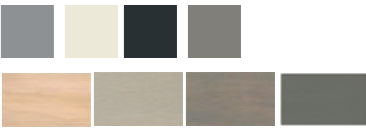
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



A-4 Elevations

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Sheet No.	Rev.
A1.2-A300	B

Scale @A3: 1:100, 1:50



Northwest Developments Limited

18 Scott Road

UNIT TYPE A2

AREAS

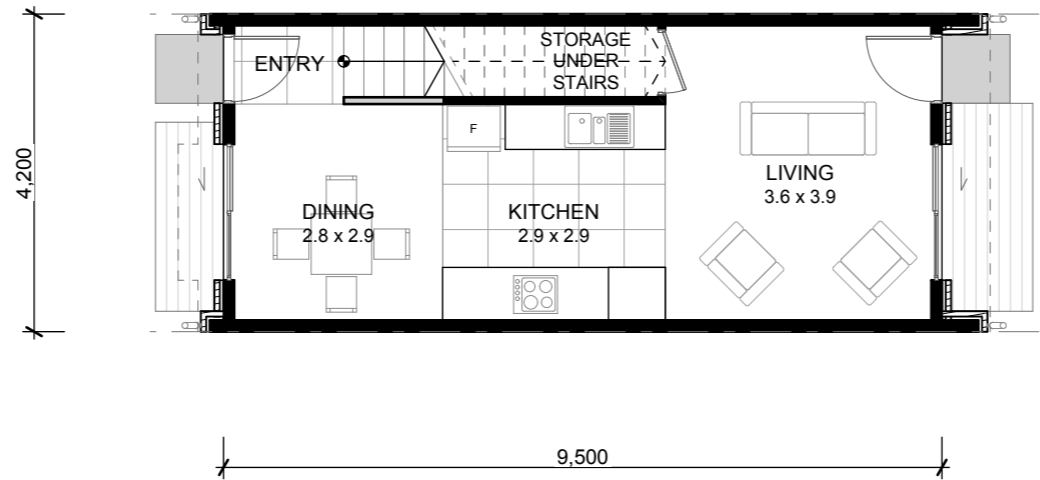
TYPE A2 - GROUND	39.90
TYPE A2 - UPPER	43.68
TOTAL	83.58 m²

TYOLOGY SUMMARY

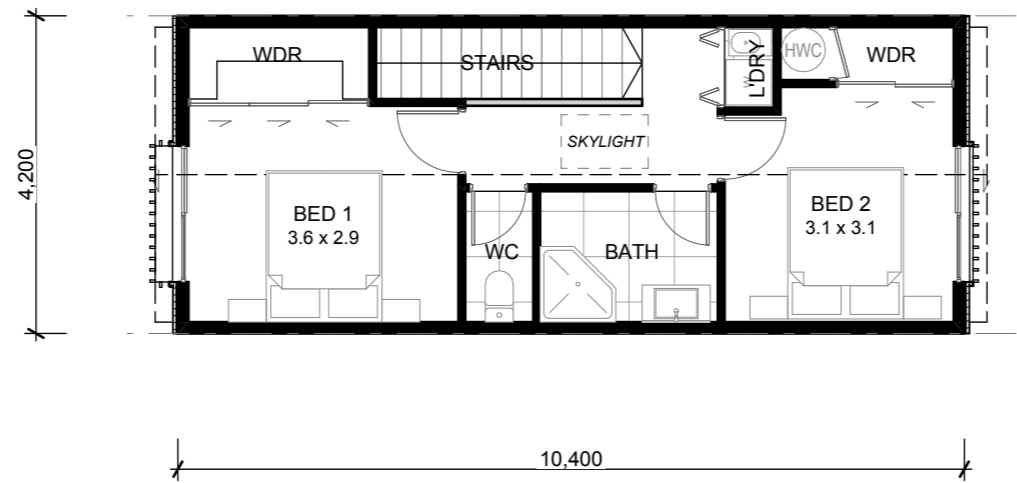
Levels	2
Car Pad	1
Bathroom	1
WC	1



Front

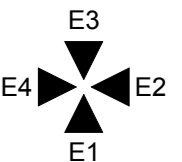
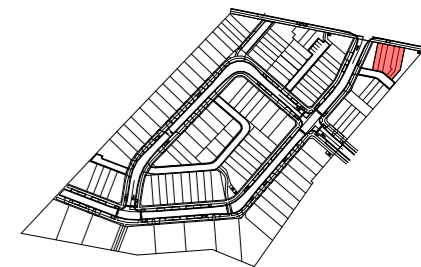


A2 - Ground Floor 1:100



A2 - First Floor 1:100

SITE LOCATIONS



Elevation Reference

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Northwest Developments Limited

18 Scott Road

UNIT TYPE A2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

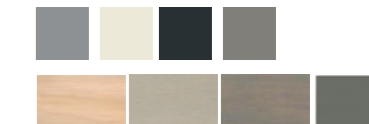
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



TYPE A1 - OPT.1 ELEVATION 4 1:100



TYPE A1 - OPT.2 ELEVATION 4 1:100



TYPE A1 - OPT.3 ELEVATION 4 1:100



TYPE A1 - OPT.1 ELEVATION 4 1:100



TYPE A1 - OPT.2 ELEVATION 42 1:100



TYPE A1 - OPT.3 ELEVATION 2 1:100

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Scale @A3: 1:100, 1:50

UNIT TYPE B1.1

AREAS	
TYPE B1.1 - GARAGE	19.68
TYPE B1.1 - GROUND	50.38
TYPE B1.1 - UPPER	53.00
TOTAL	123.06 m²

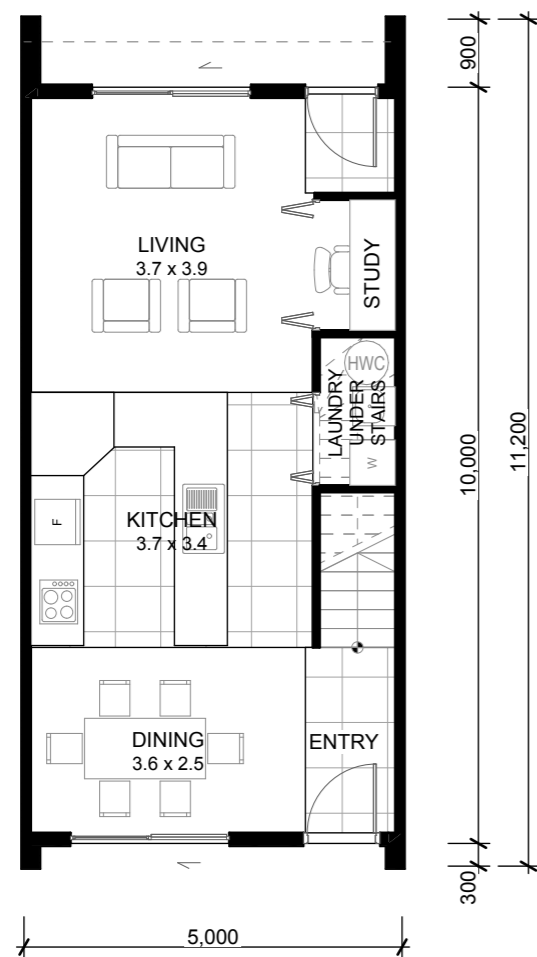
TYOLOGY SUMMARY

Levels	2
Garage	1
Bathroom	2



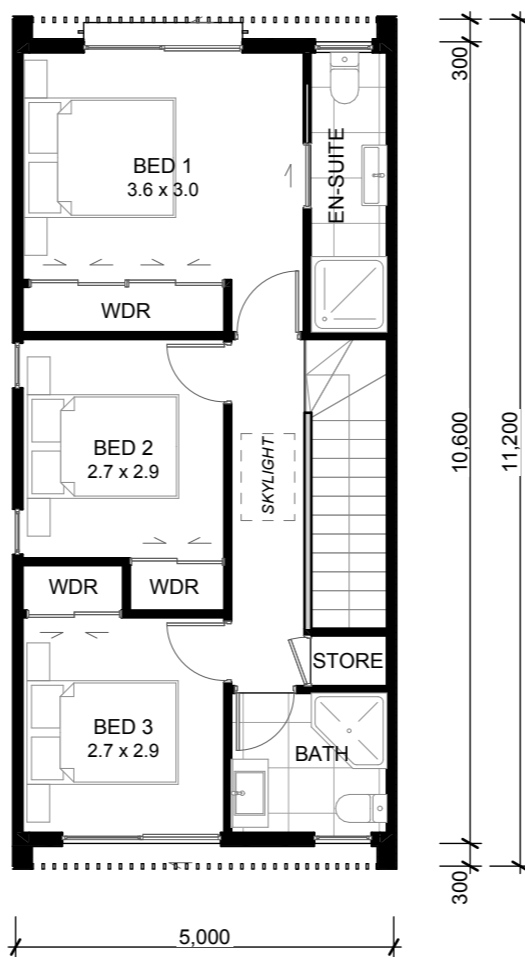
Front

Rear



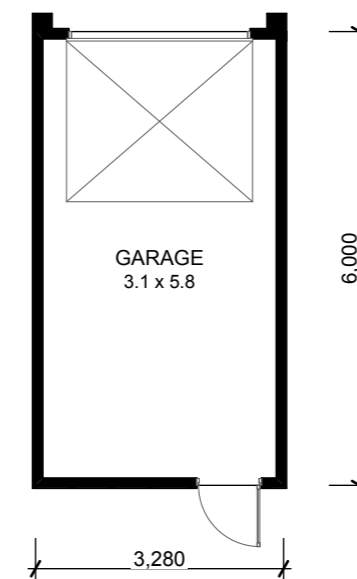
B1.1 - Ground Floor

1:100



B1.1 - First Floor

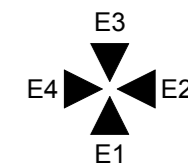
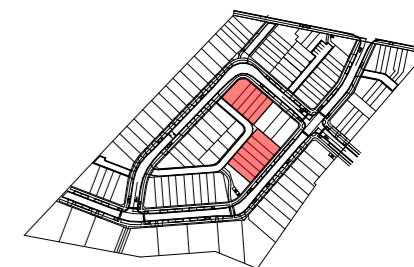
1:100



B1.1 - Garage

1:100

SITE LOCATIONS



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Northwest Developments Limited

18 Scott Road

UNIT TYPE B1.1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

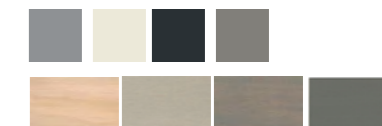
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

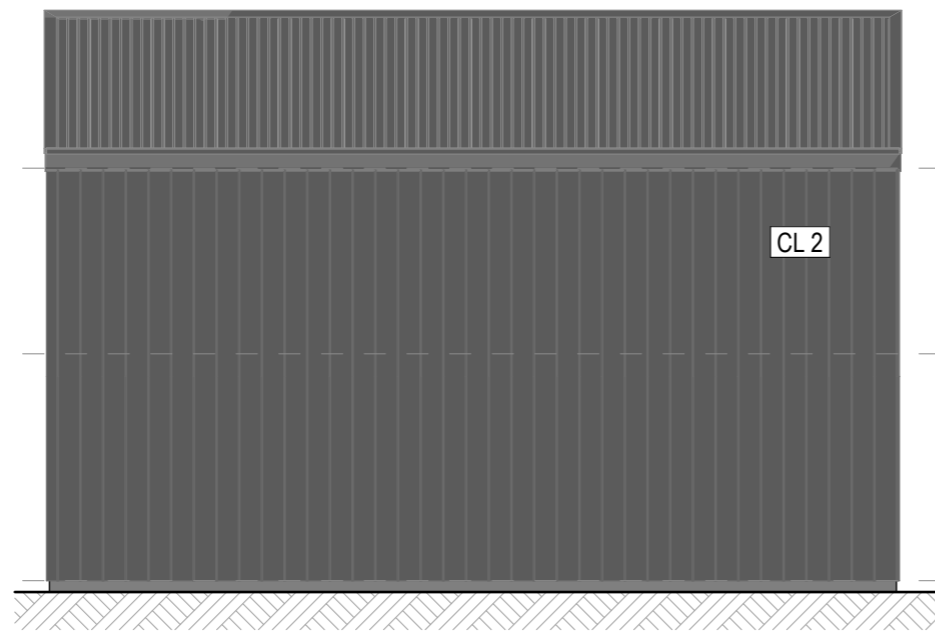
FIBRE CEMENT PANELS

CL 7	
------	--

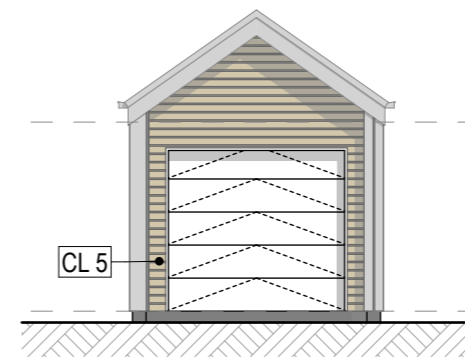
PAINT AND STAIN COLOUR PALETTE



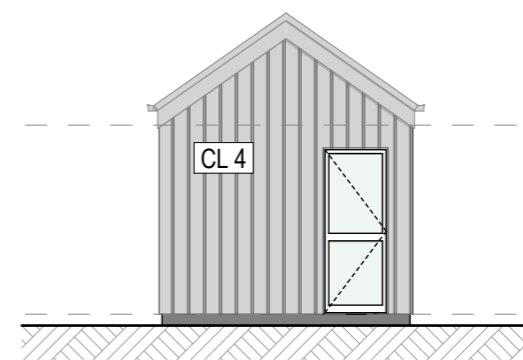
ELEVATION 1 1:100



ELEVATION 2 1:100



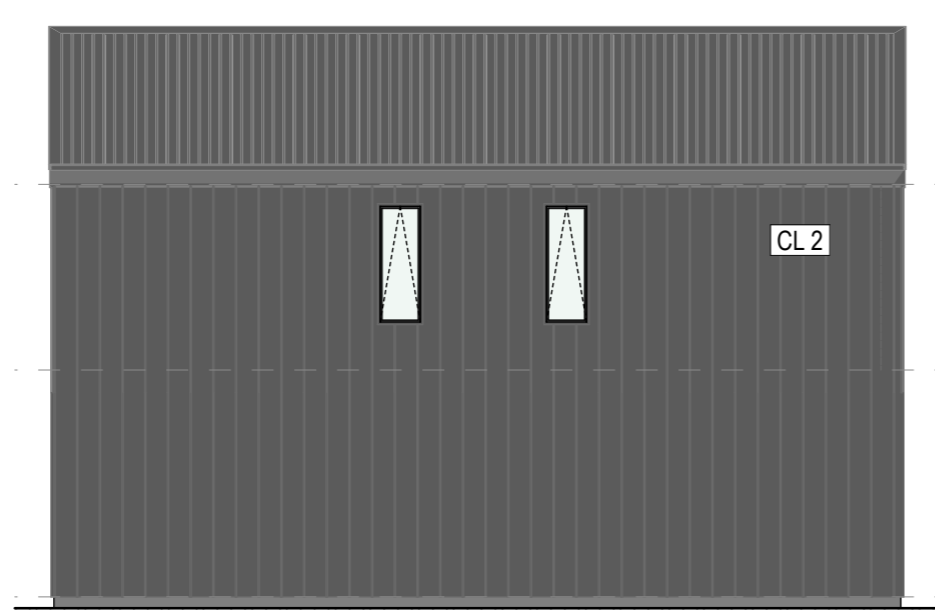
ELEVATION 3 1:100



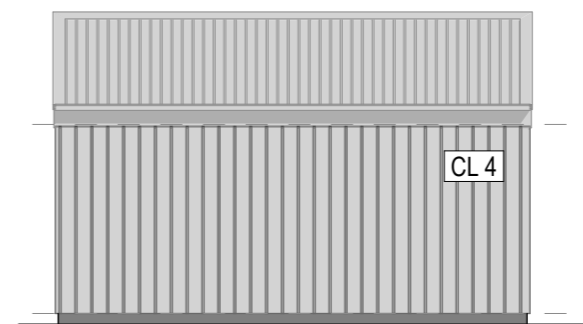
ELEVATION 1 1:100



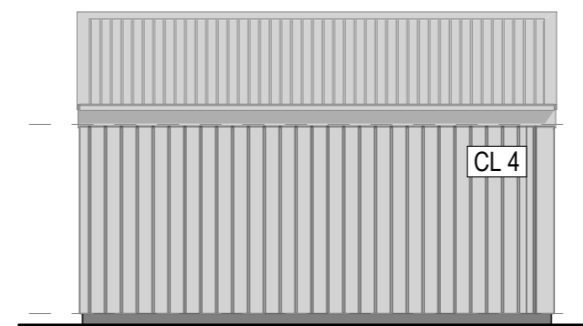
ELEVATION 3 1:100



ELEVATION 4 1:100



ELEVATION 4 1:100



ELEVATION 2 1:100

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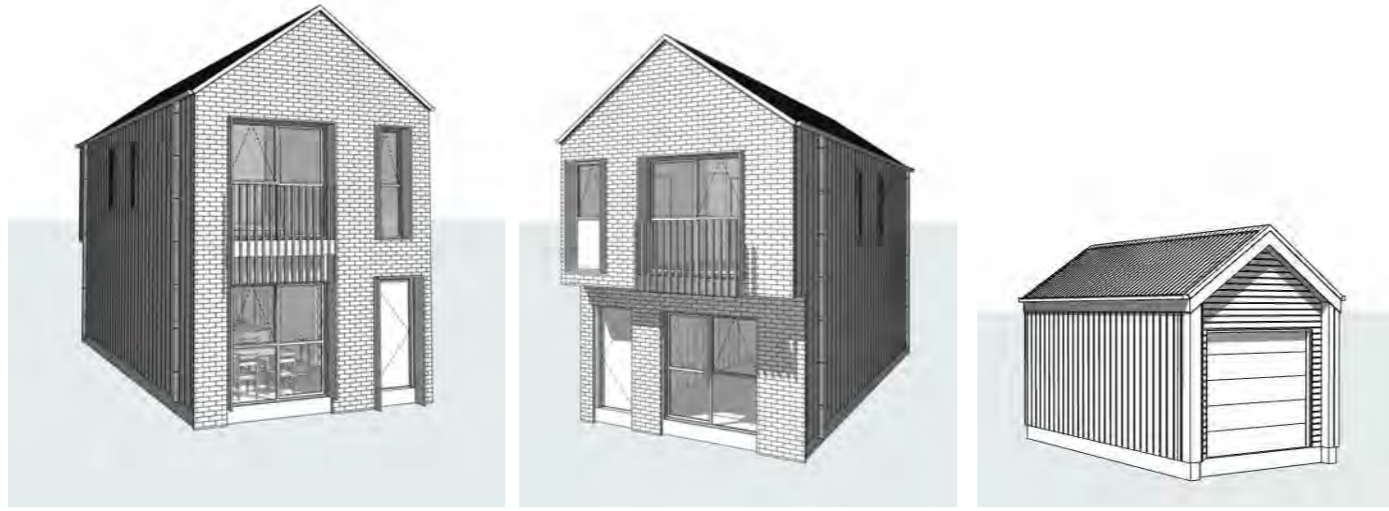
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Scale @A3: 1:100, 1:50

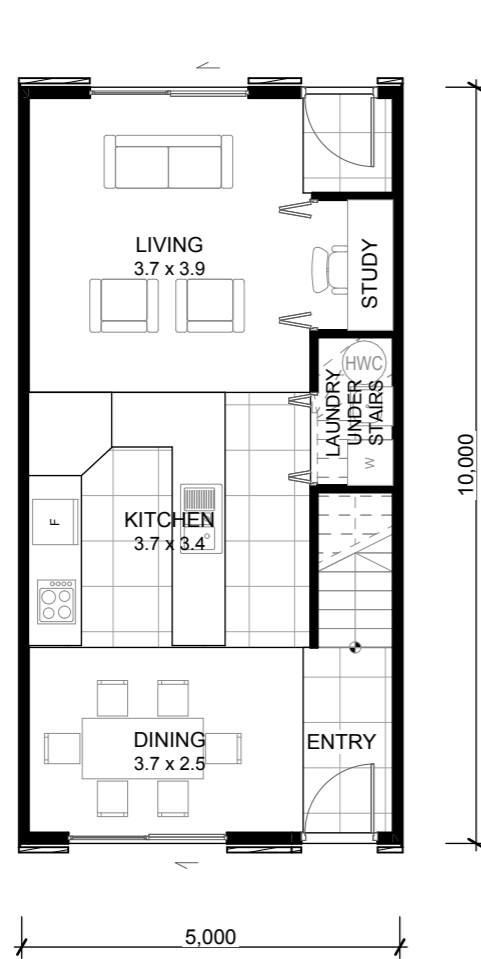


Front

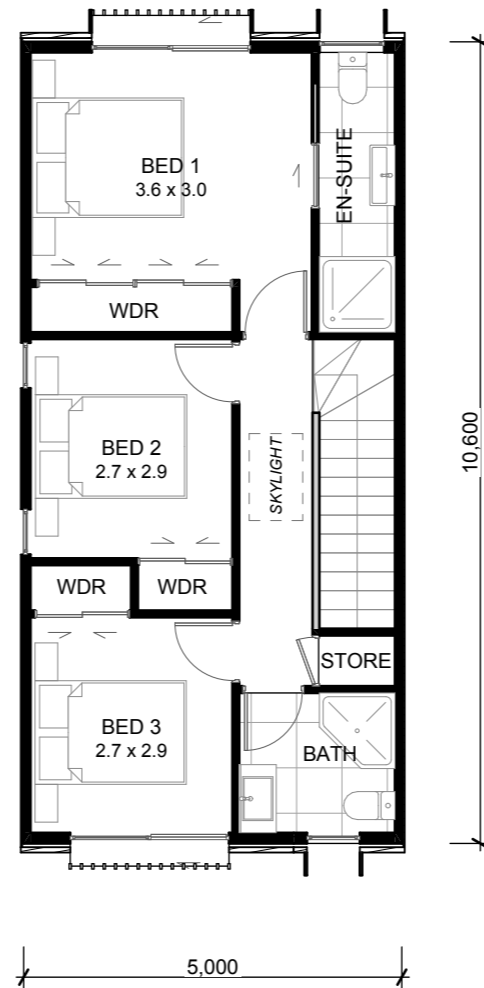
Rear

AREAS	
TYPE B1.2 - GARAGE	19.68
TYPE B1.2 - GROUND	50.38
TYPE B1.2 - UPPER	53.00
	123.06 m²

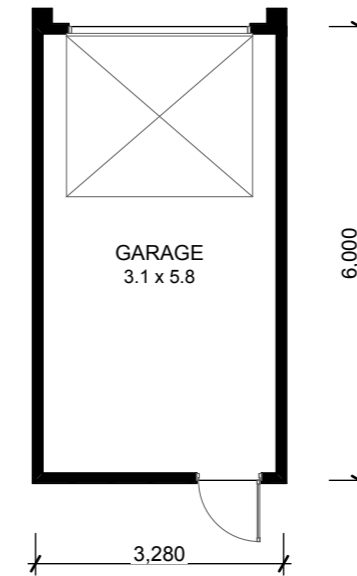
TYPOLOGY SUMMARY	
Levels	2
Garage	1
Bathroom	2



B1.2 - Ground Floor 1:100

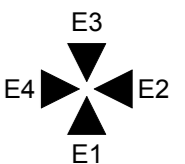
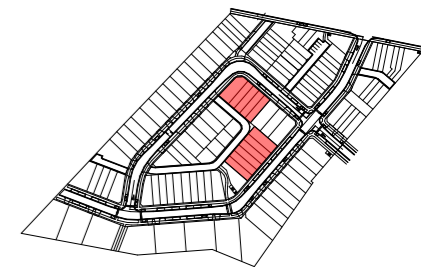


B1.2 - First Floor 1:100



B - Garage 1:100

SITE LOCATIONS



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UNIT TYPE B1.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

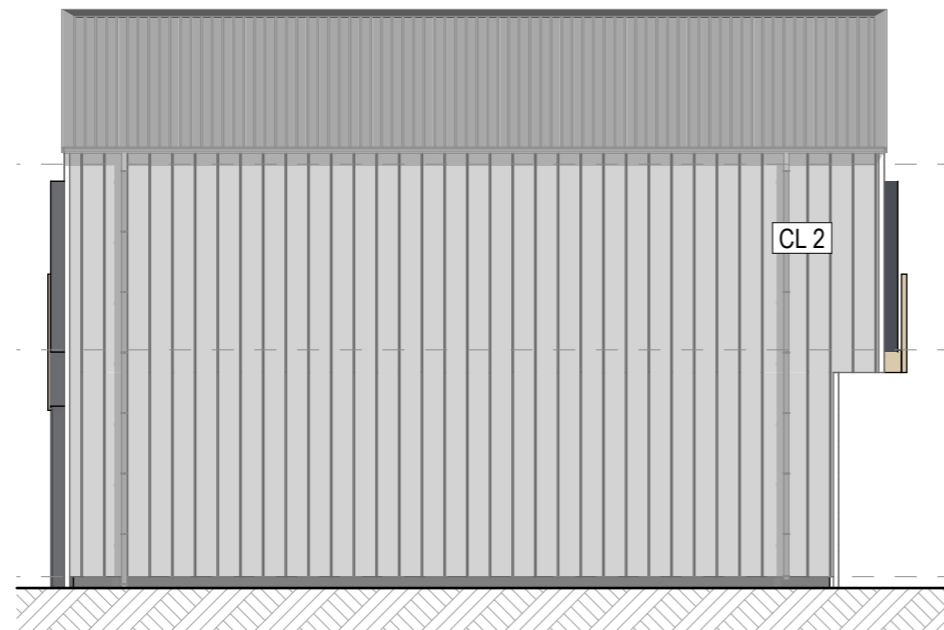
FIBRE CEMENT PANELS

CL 7	
------	--

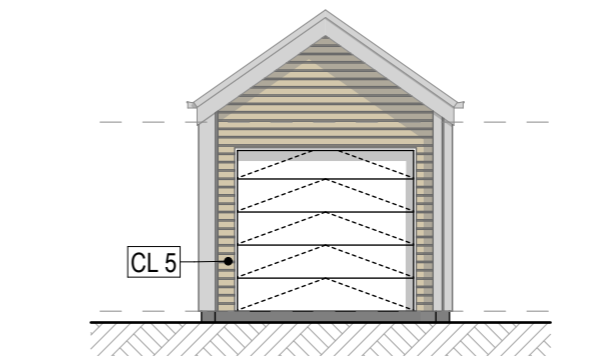
PAINT AND STAIN COLOUR PALETTE



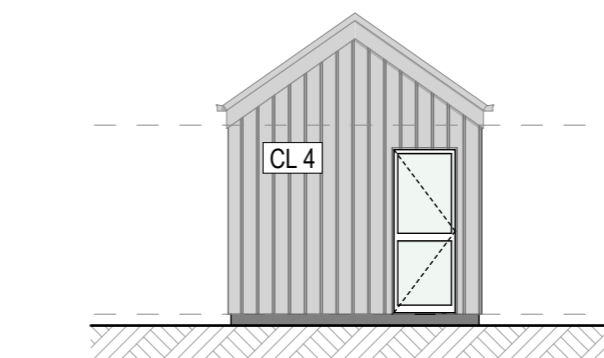
ELEVATION 1 1:100



ELEVATION 2 1:100



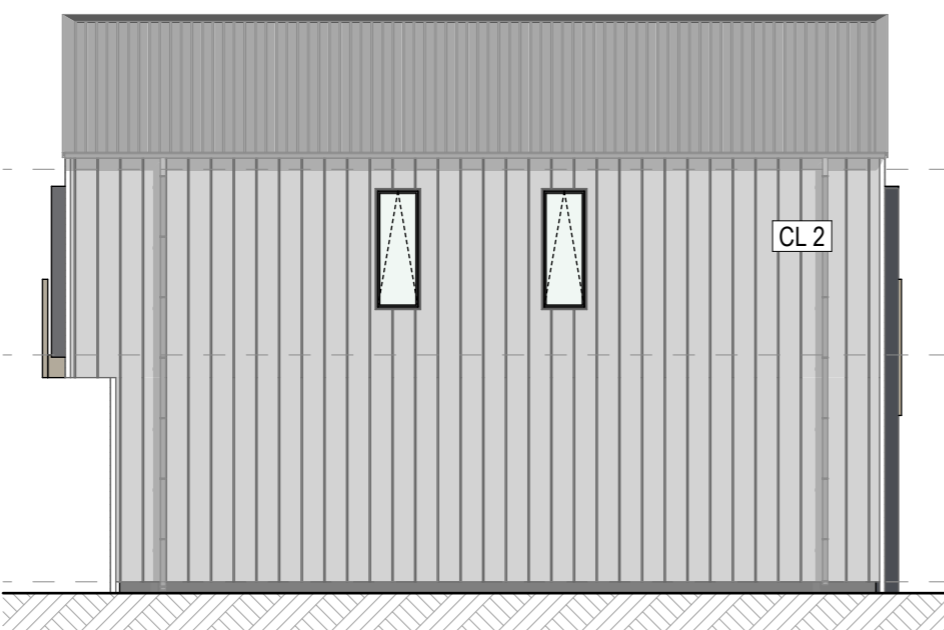
ELEVATION 3 1:100



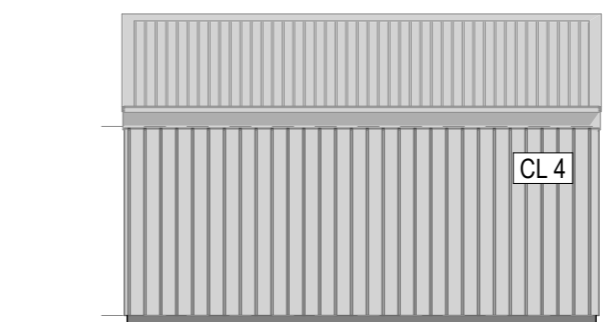
ELEVATION 1 1:100



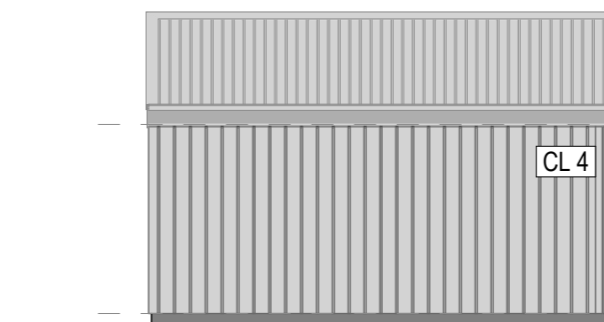
ELEVATION 3 1:100



ELEVATION 4 1:100



ELEVATION 4 1:100



ELEVATION 2 1:100

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UNIT TYPE B2.1



Front

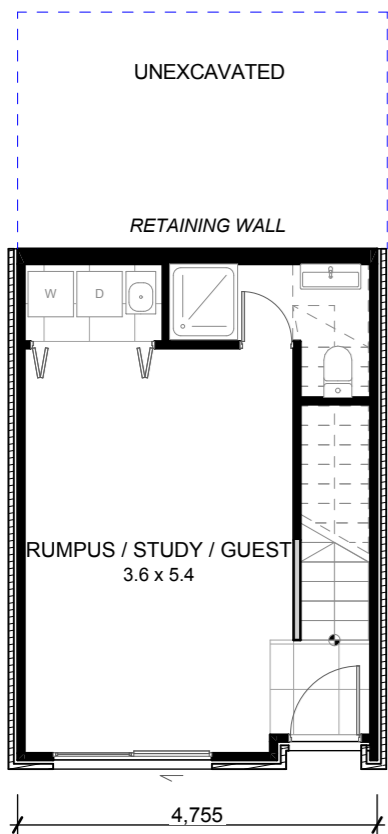


Rear

AREAS	
TYPE B2.1 - BASEMENT	31.82
TYPE B2.1 - GARAGE	19.68
TYPE B2.1 - GROUND	49.75
TYPE B2.1 - UPPER	52.74
TOTAL	153.99 m²

TYOLOGY SUMMARY

Levels	3
Garage	1
Bathroom	3
WC	1



B2.1 - Basement

1:100



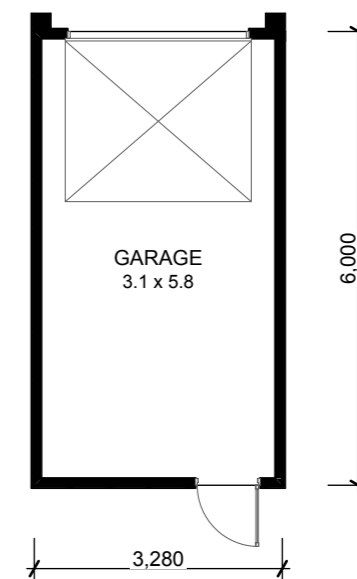
B2.1 - Ground

1:100



B2.1 - First Floor

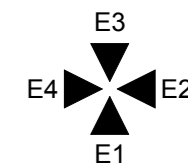
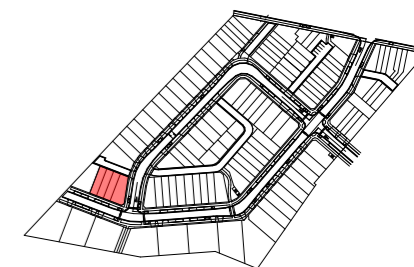
1:100



B2.1 - Garage

1:100

SITE LOCATIONS



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Northwest Developments Limited

18 Scott Road

UNIT TYPE B2.1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

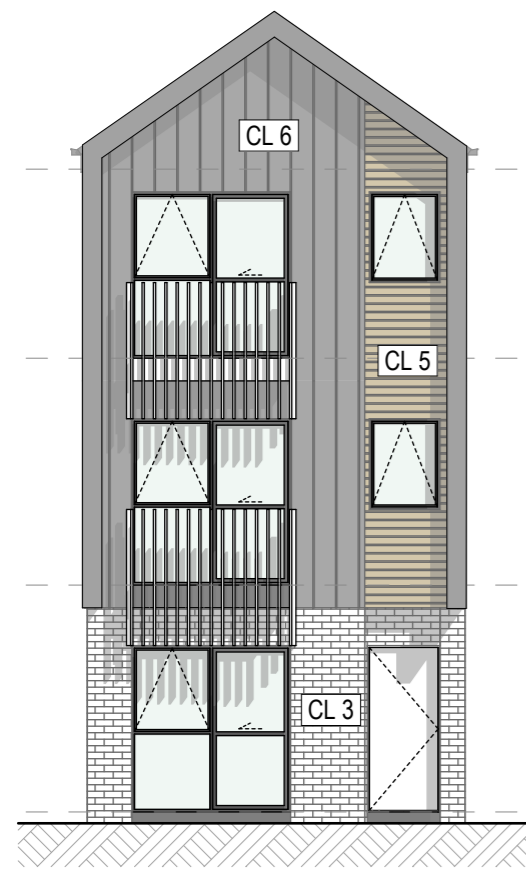
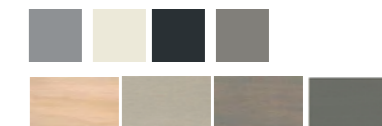
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

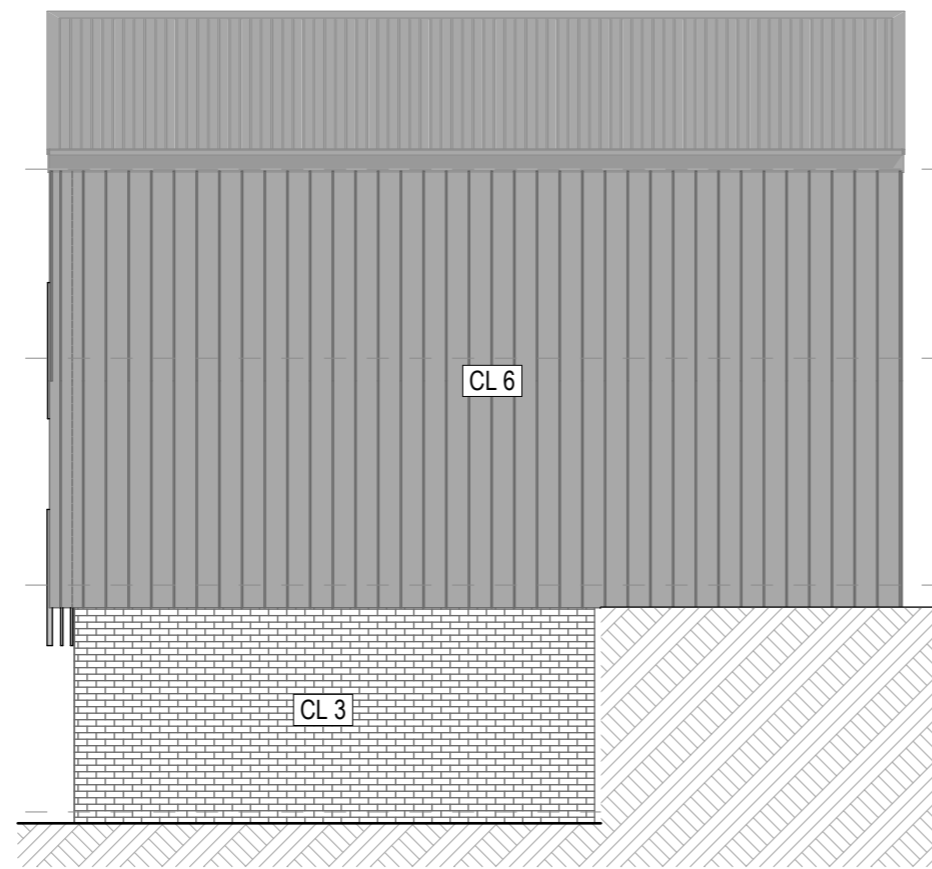
FIBRE CEMENT PANELS

CL 7	
------	--

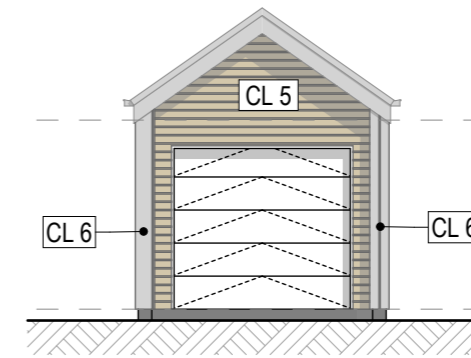
PAINT AND STAIN COLOUR PALETTE



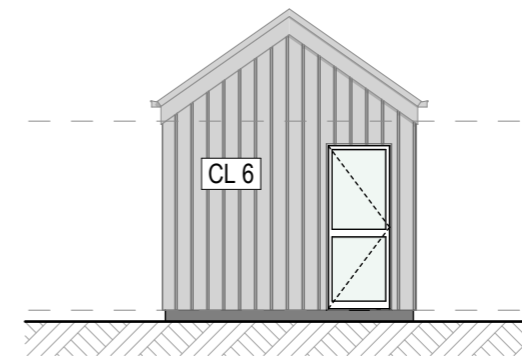
ELEVATION 1 1:100



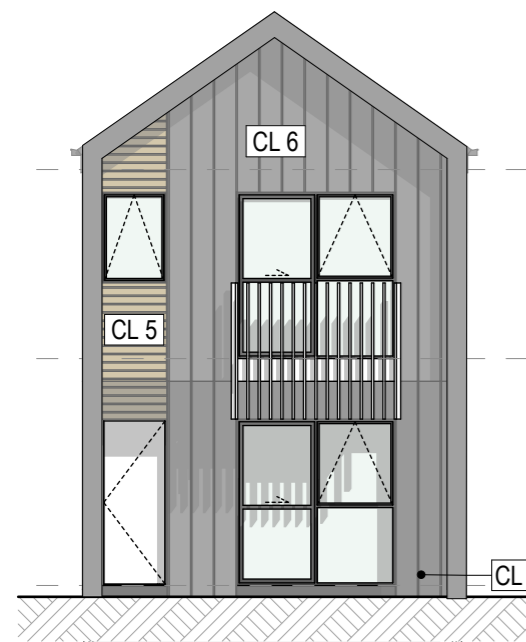
ELEVATION 2 1:100



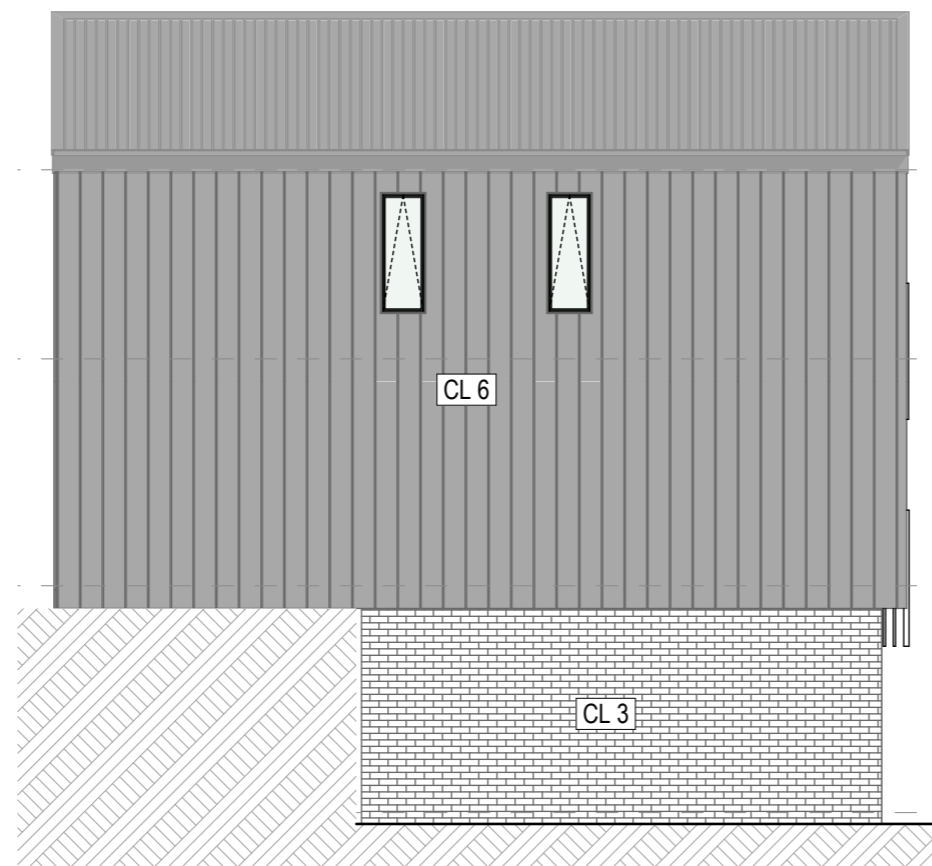
ELEVATION 3 1:100



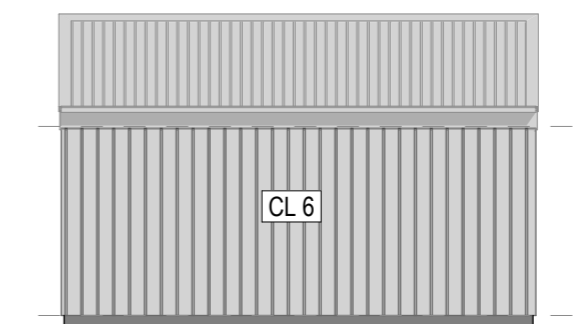
ELEVATION 1 1:100



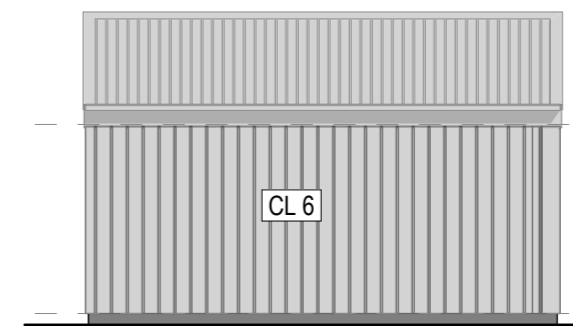
ELEVATION 3 1:100



ELEVATION 4 1:100



ELEVATION 4 1:100



ELEVATION 2 1:100

Elevations

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Northwest Developments Limited

18 Scott Road



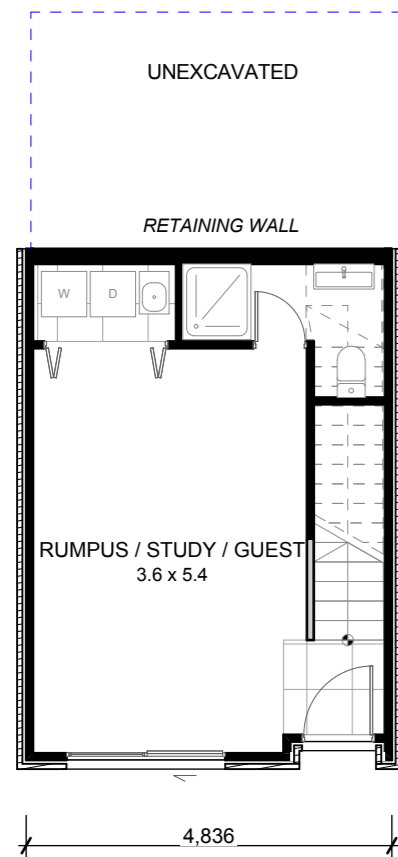
Front



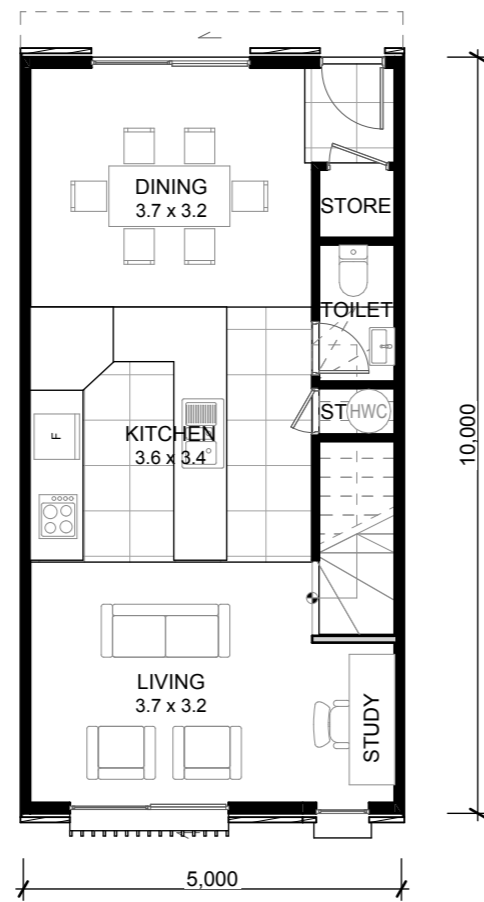
Rear

AREAS	
TYPE B2.2 - BASEMENT	31.82
TYPE B2.2 - GARAGE	19.68
TYPE B2.2 - GROUND	49.75
TYPE B2.2 - UPPER	52.74
TOTAL	153.99 m²

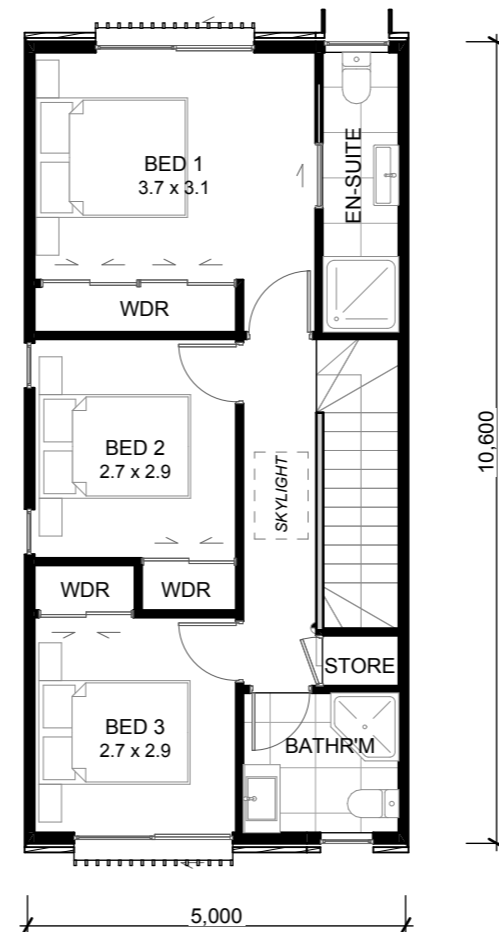
TYPOLOGY SUMMARY	
Levels	3
Garage	1
Bathroom	3
WC	1



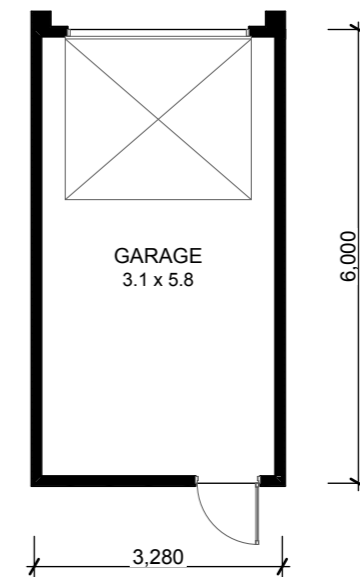
B2.2- Basement 1:100



B2.2- Ground 1:100

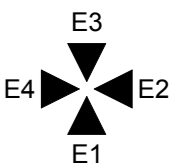
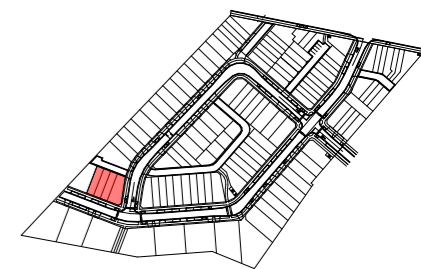


B2.2- First Floor 1:100



B2.2 - Garage 1:100

SITE LOCATIONS



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UNIT TYPE B2.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

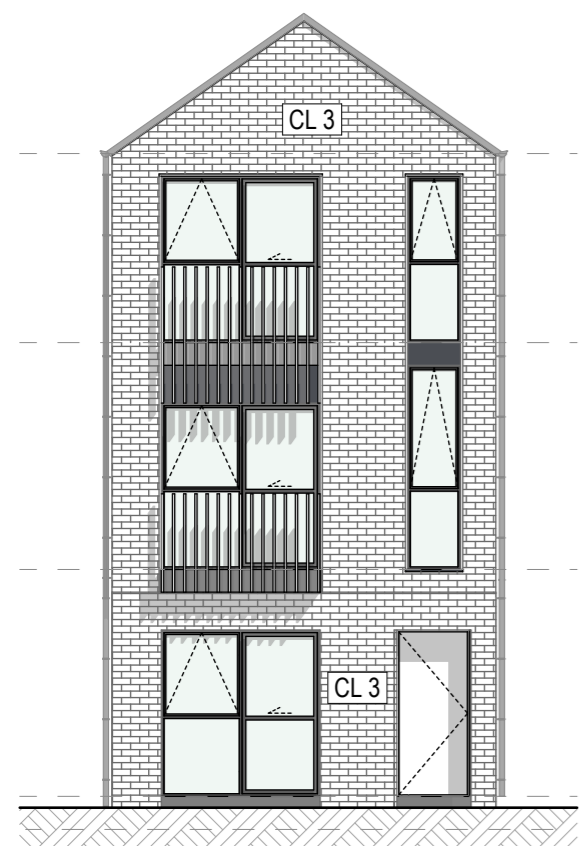
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

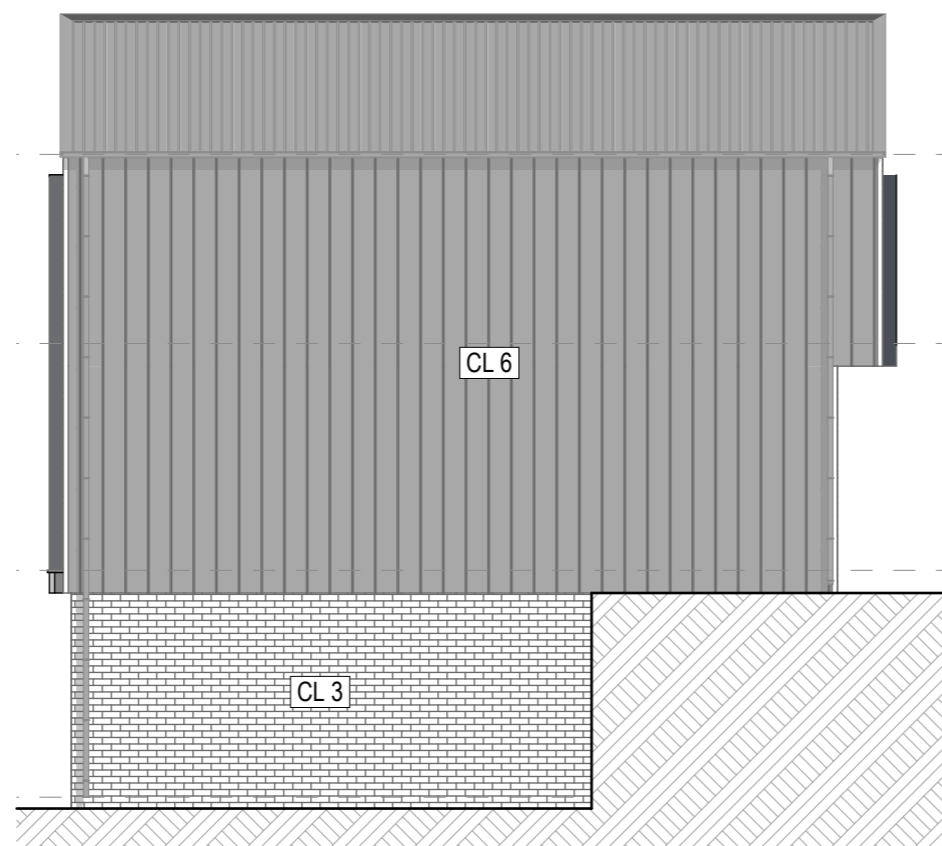
FIBRE CEMENT PANELS

CL 7	
------	--

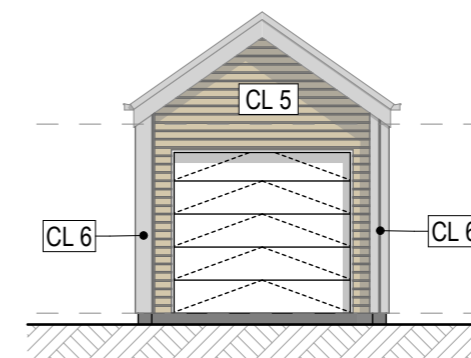
PAINT AND STAIN COLOUR PALETTE



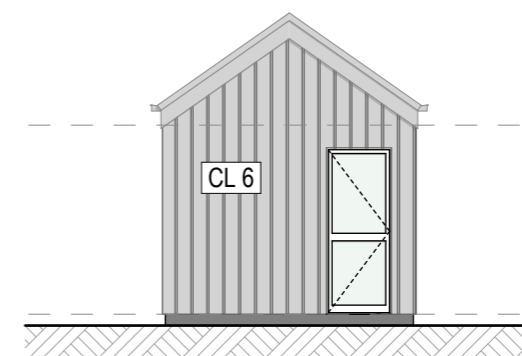
ELEVATION 1 1:100



ELEVATION 2 1:100



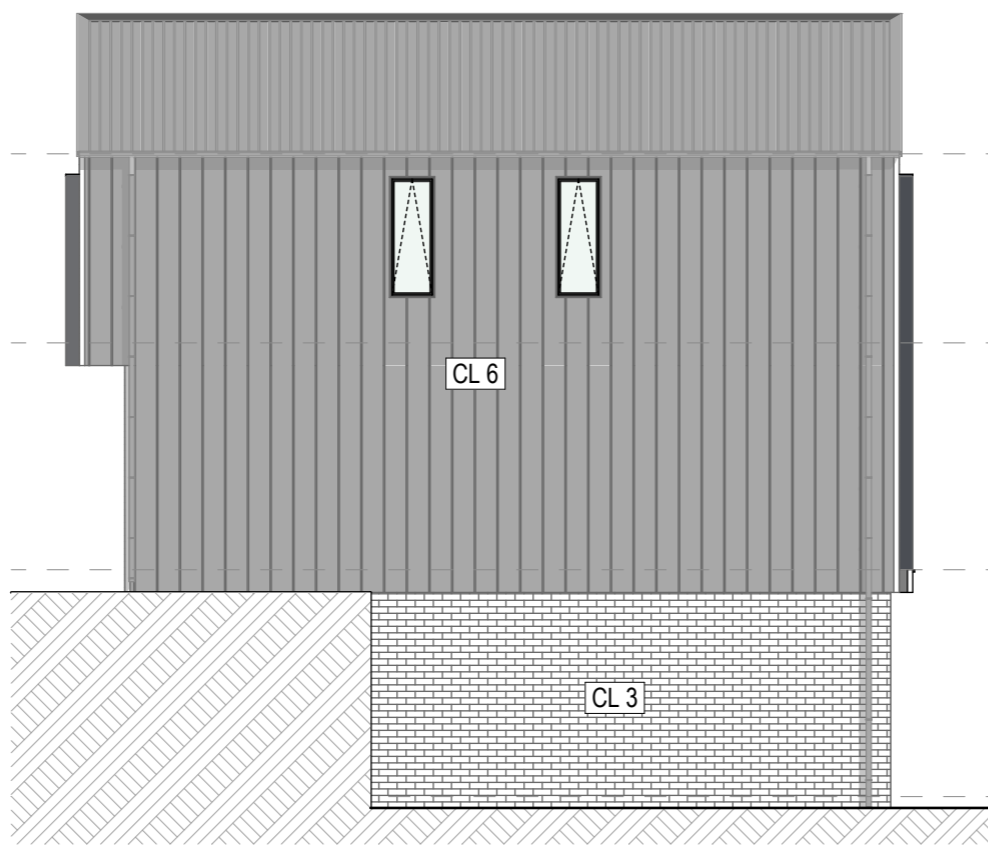
ELEVATION 3 1:100



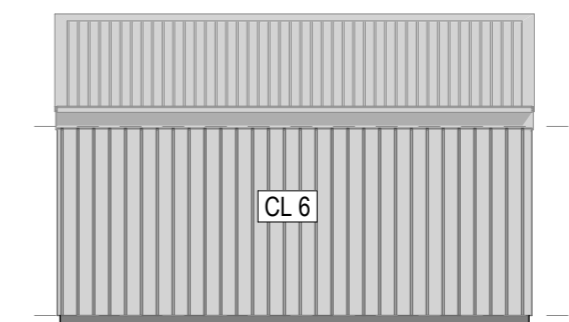
ELEVATION 1 1:100



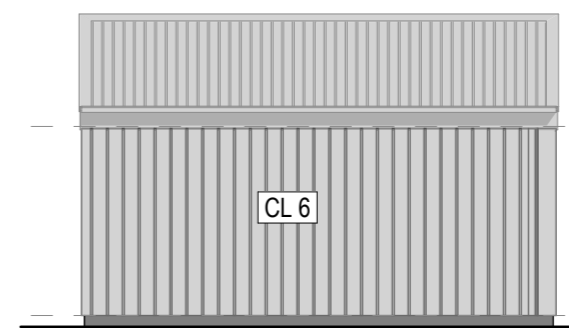
ELEVATION 3 1:100



ELEVATION 4 1:100



ELEVATION 4 1:100



ELEVATION 2 1:100

Elevations

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UNIT TYPE C1

AREAS

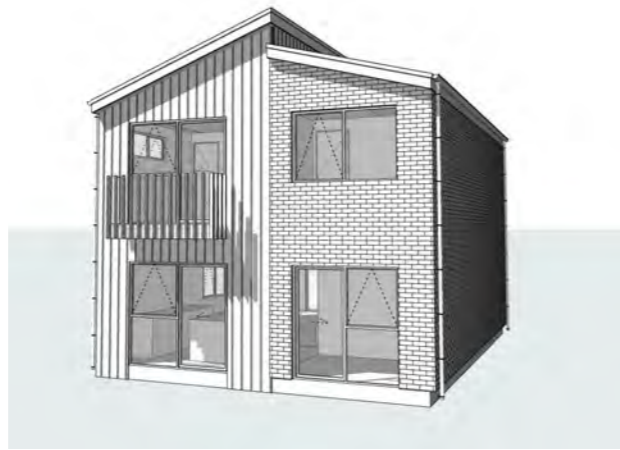
TYPE C1 - GROUND	79.90
TYPE C1 - UPPER	83.25
Total	163.15 m²

TPOLOGY SUMMARY

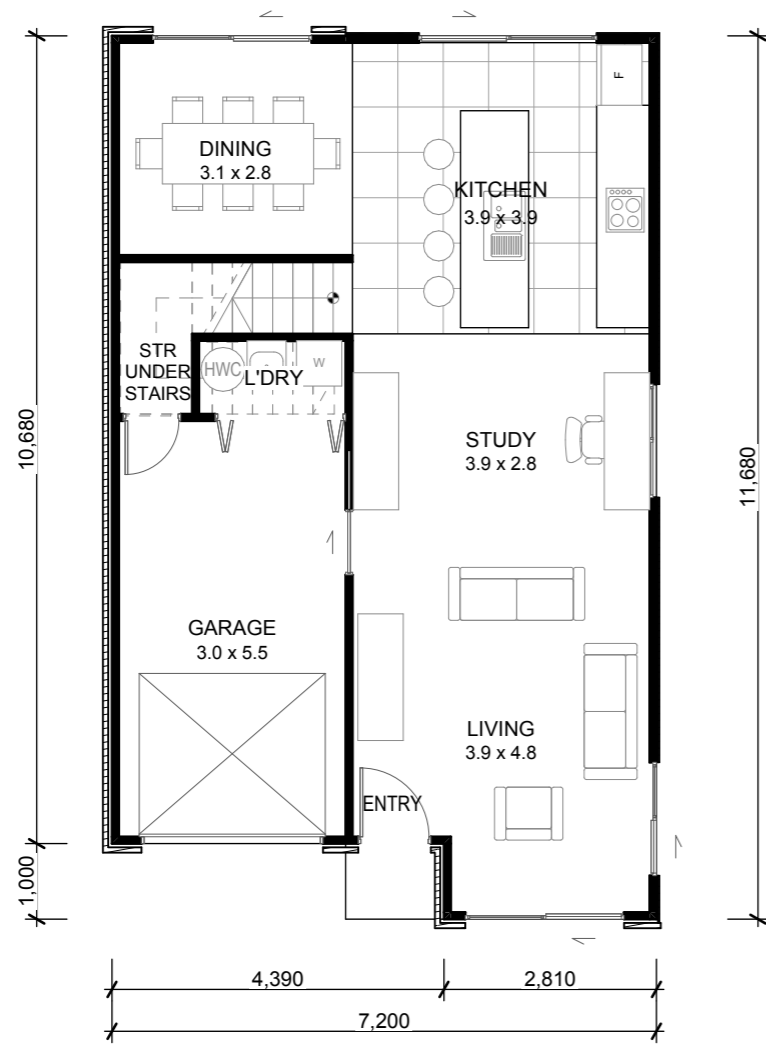
Levels	2
Car Pad	1
Garage	1
Bathroom	3



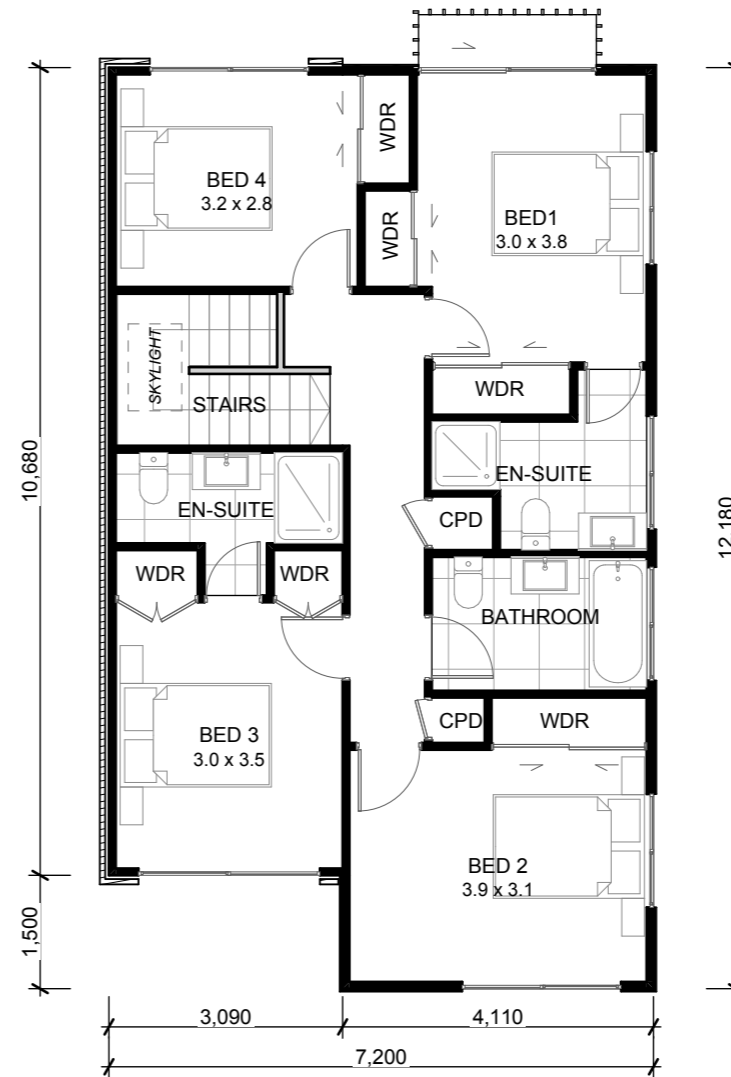
Front



Rear

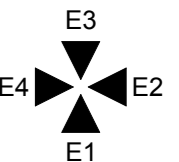
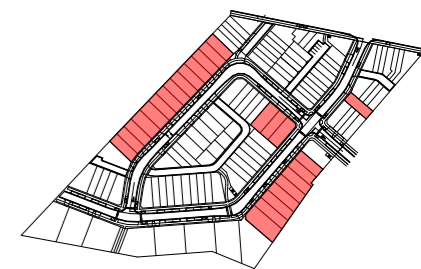


C1 - Ground Level 1:100



C1 - First Floor 1:100

SITE LOCATIONS



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Northwest Developments Limited

18 Scott Road

UNIT TYPE C1.1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

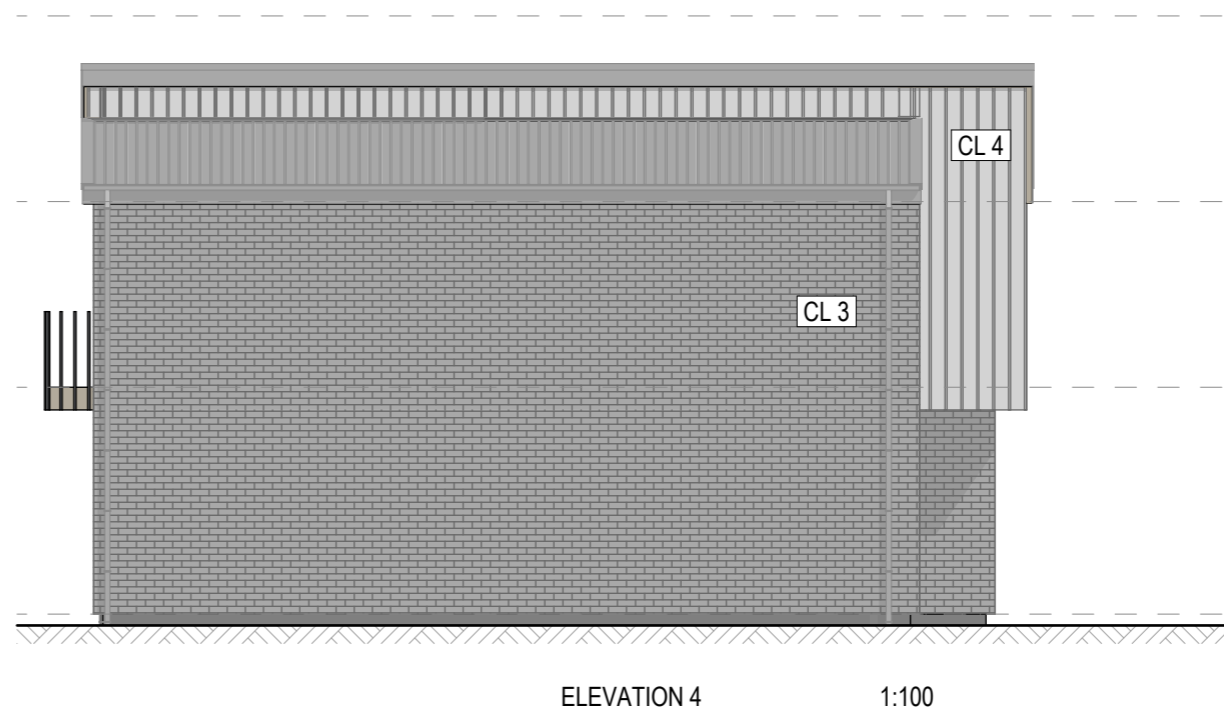
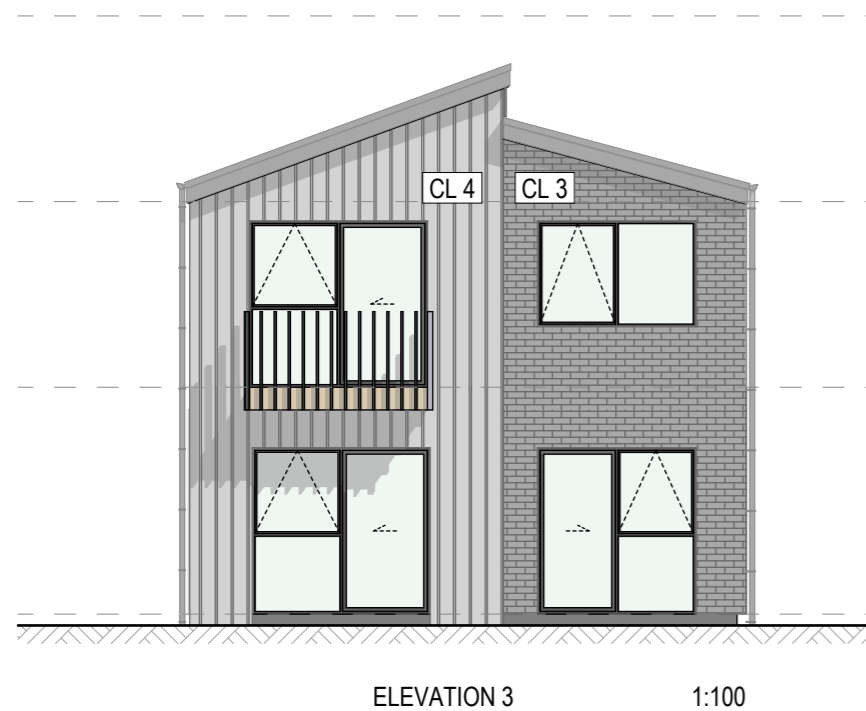
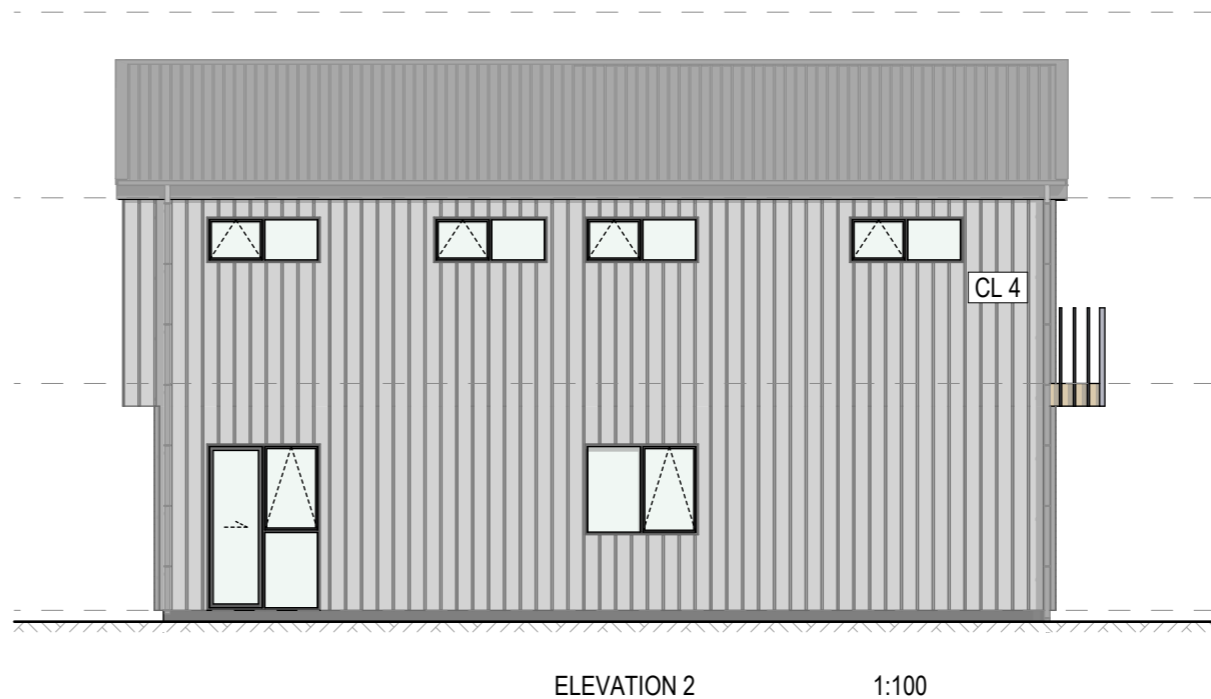
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

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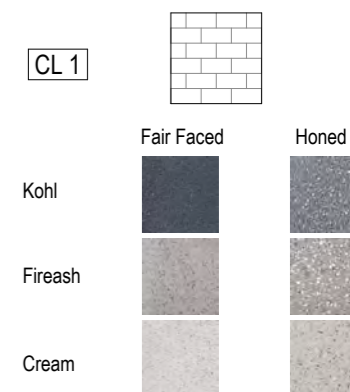
Scale @A3: 1:100, 1:50



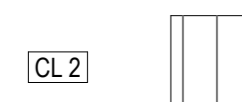
UNIT TYPE C1.2

MATERIALS AND COLOURS

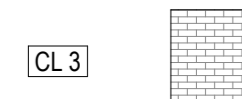
CONCRETE MASONRY VENEER 70 SERIES



STANDING SEAM METAL CLADDING



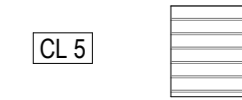
BRICK VENEER - PAINTED



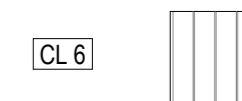
RUSTICATED WEATHERBOARD - VERTICAL



RUSTICATED WEATHERBOARD - HORIZONTAL



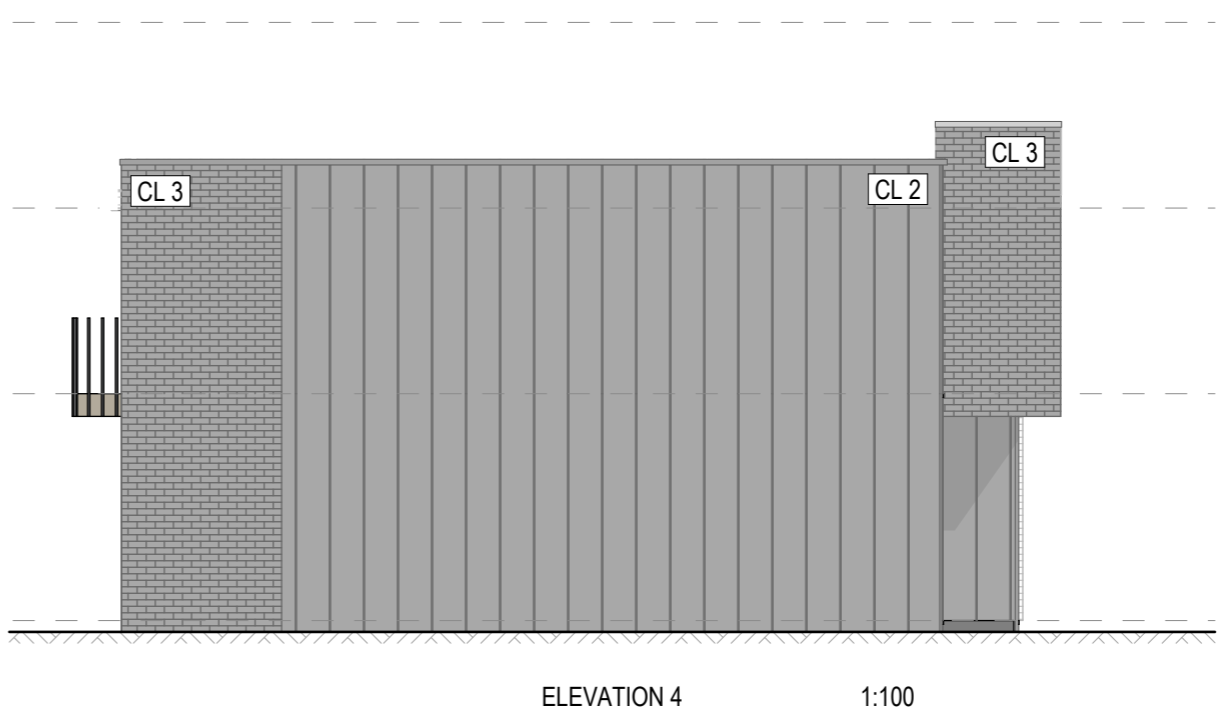
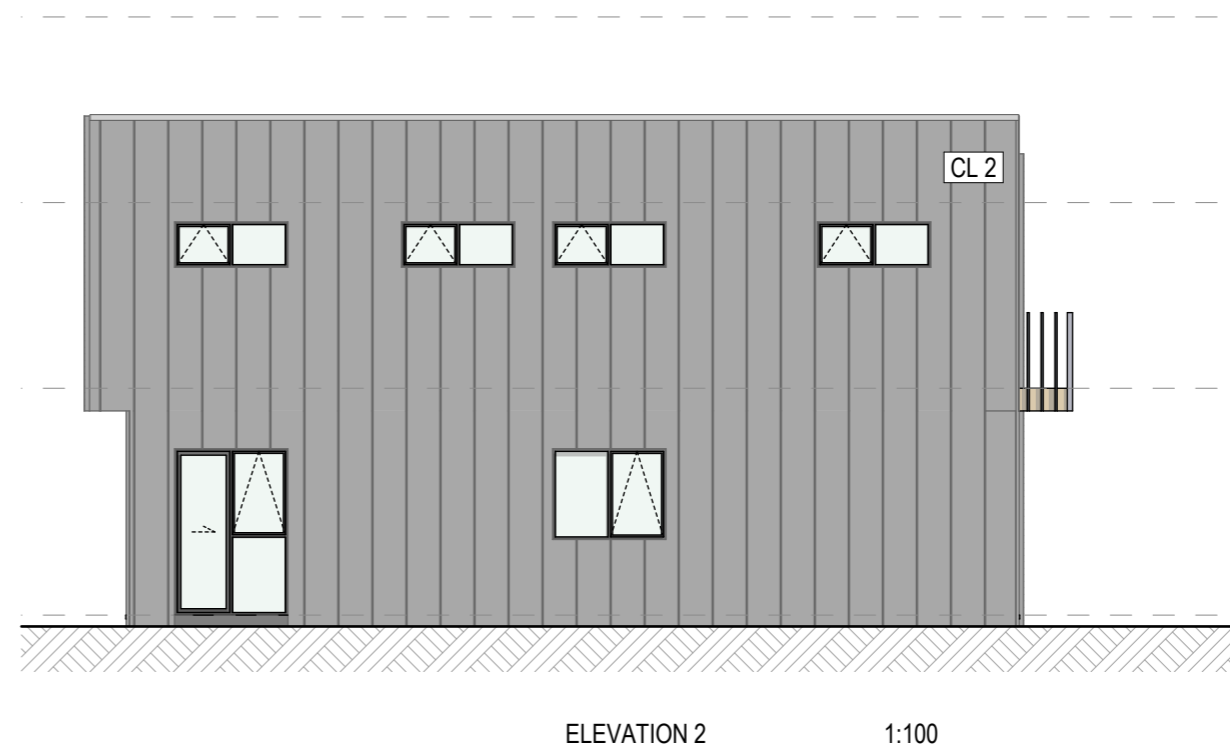
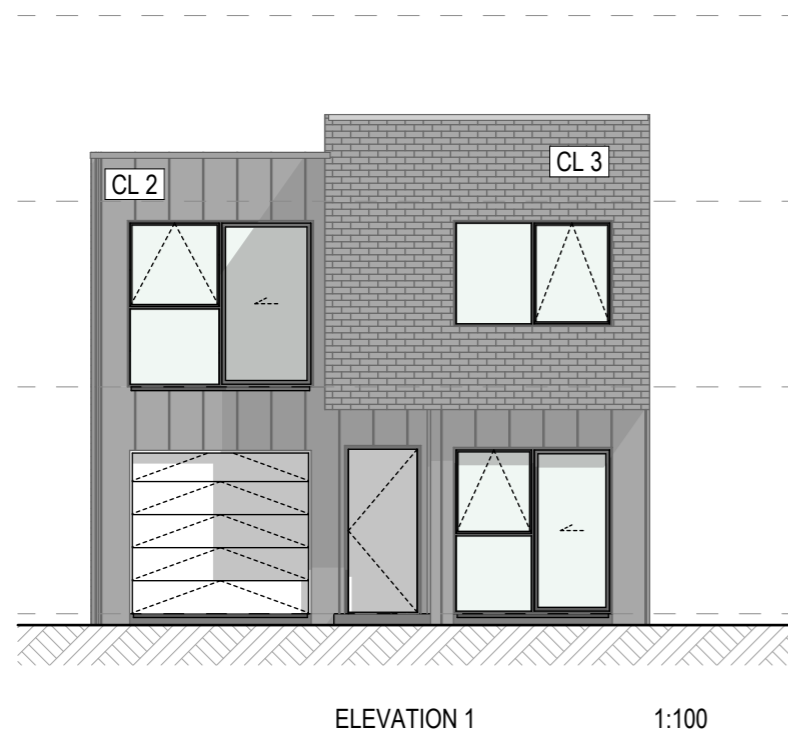
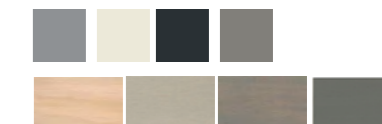
FIBRE CEMENT BOARD - VERTICAL



FIBRE CEMENT PANELS



PAINT AND STAIN COLOUR PALETTE



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Scale @A3: 1:100, 1:50



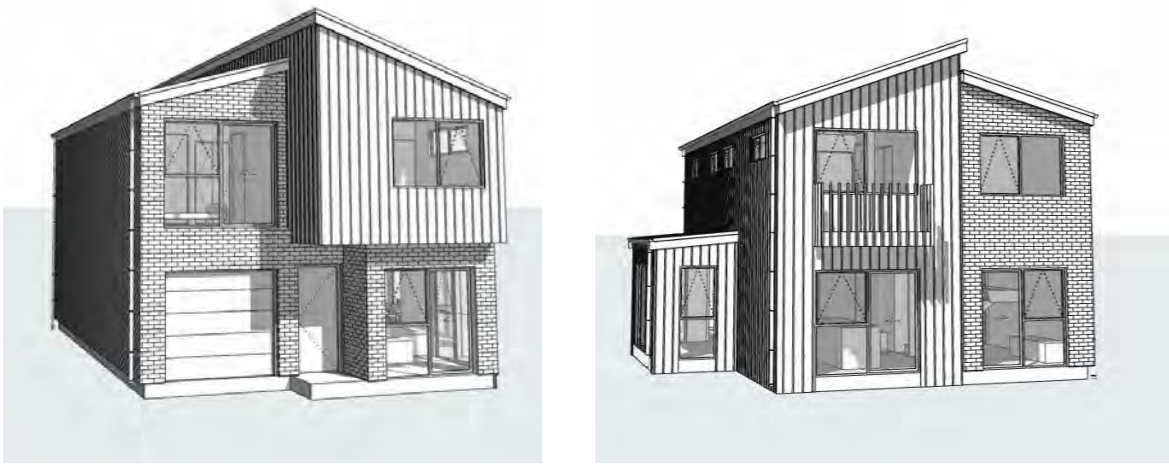
UNIT TYPE C2

AREAS

TYPE C2 - GROUND	88.41
TYPE C2 - UPPER	83.25
TOTAL	171.66 m²

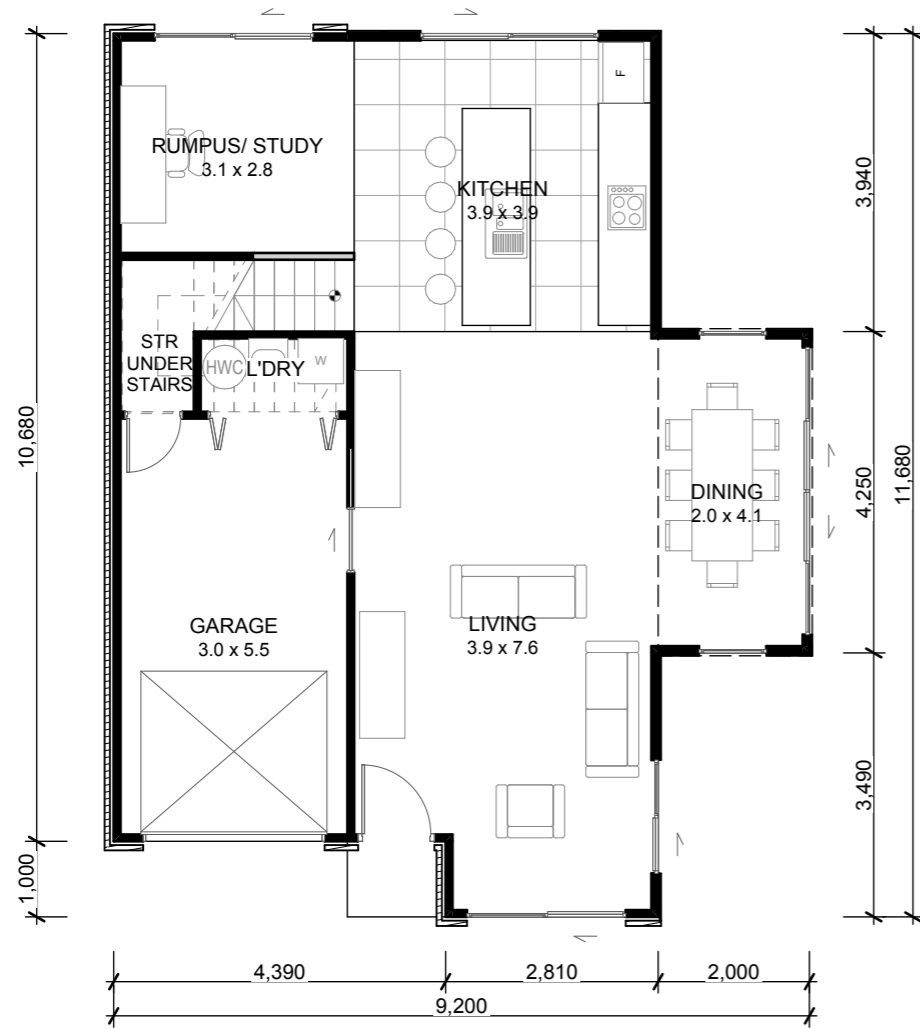
TYOLOGY SUMMARY

Levels	2
Car Pad	1
Garage	1
Bathroom	3



Front

Rear

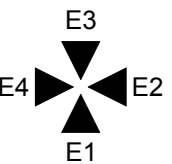
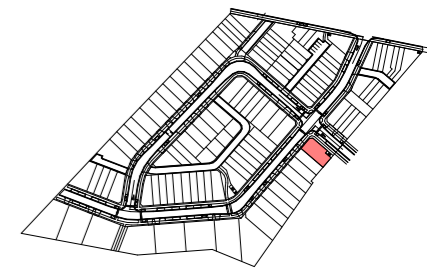


C2 - Ground Level 1:100



C2 - First Floor 1:100

SITE LOCATIONS



Elevation Reference

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Scale @A3: 1:100



Northwest Developments Limited

18 Scott Road

UNIT TYPE C2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

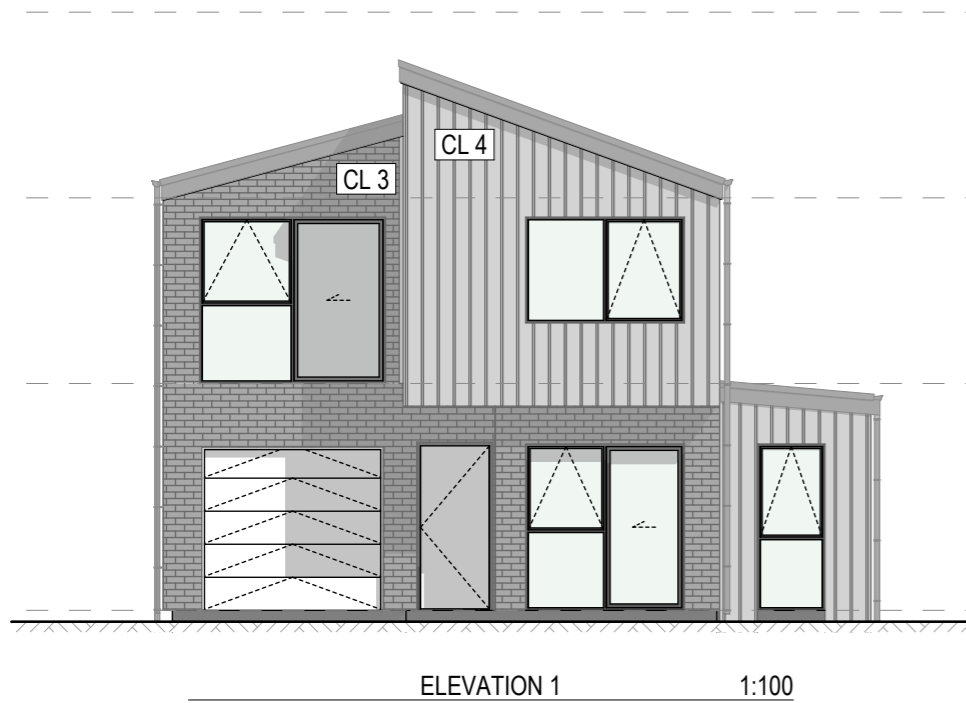
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

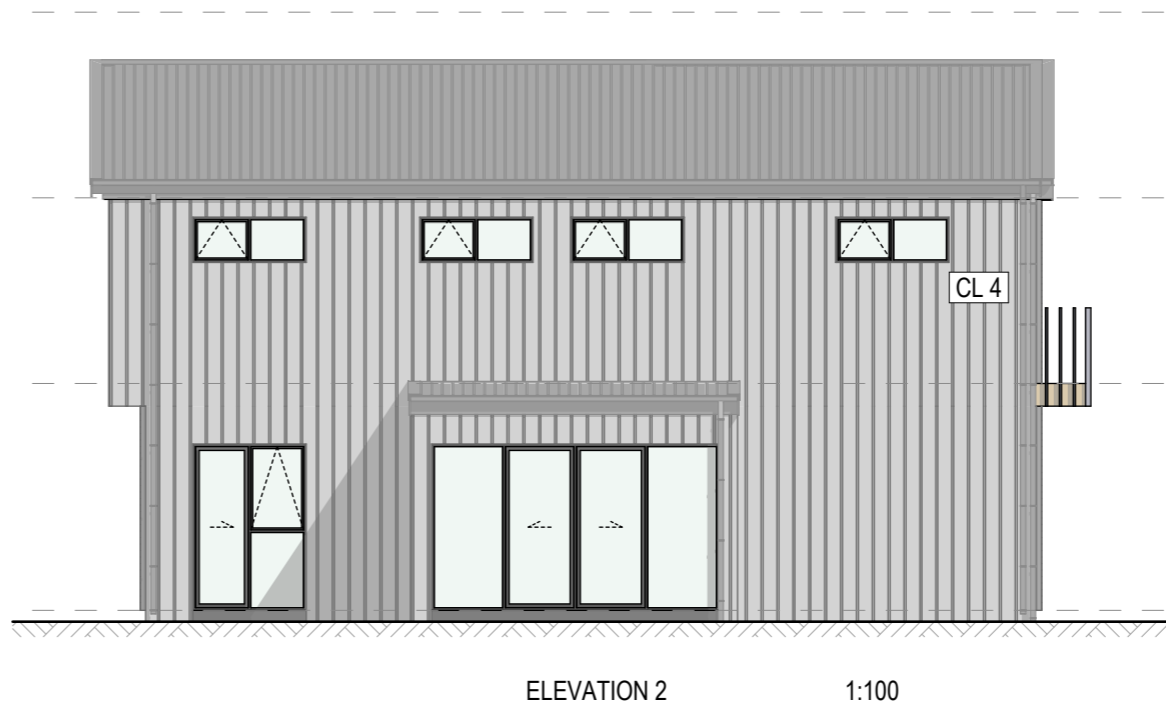
FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



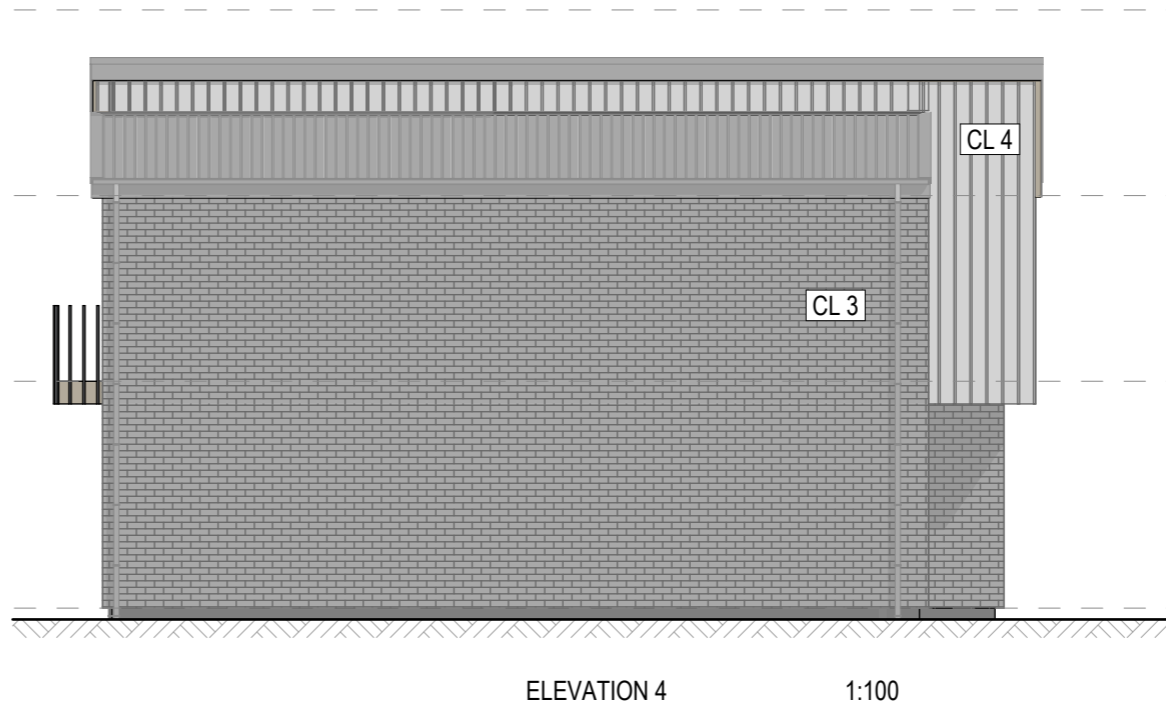
ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

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Scale @A3: 1:50



Northwest Developments Limited

18 Scott Road

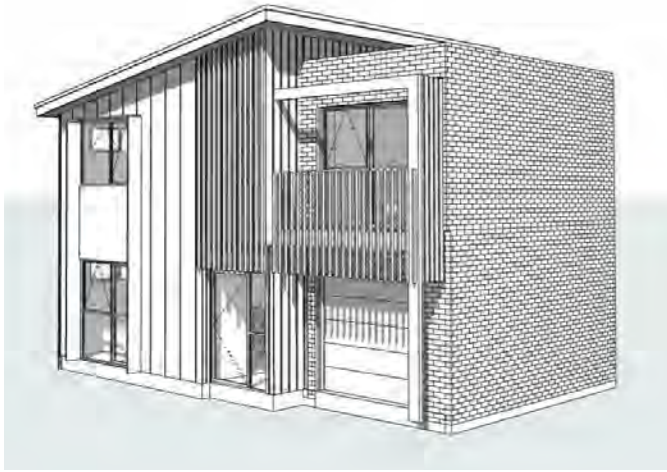
UNIT TYPE D1.1

AREAS

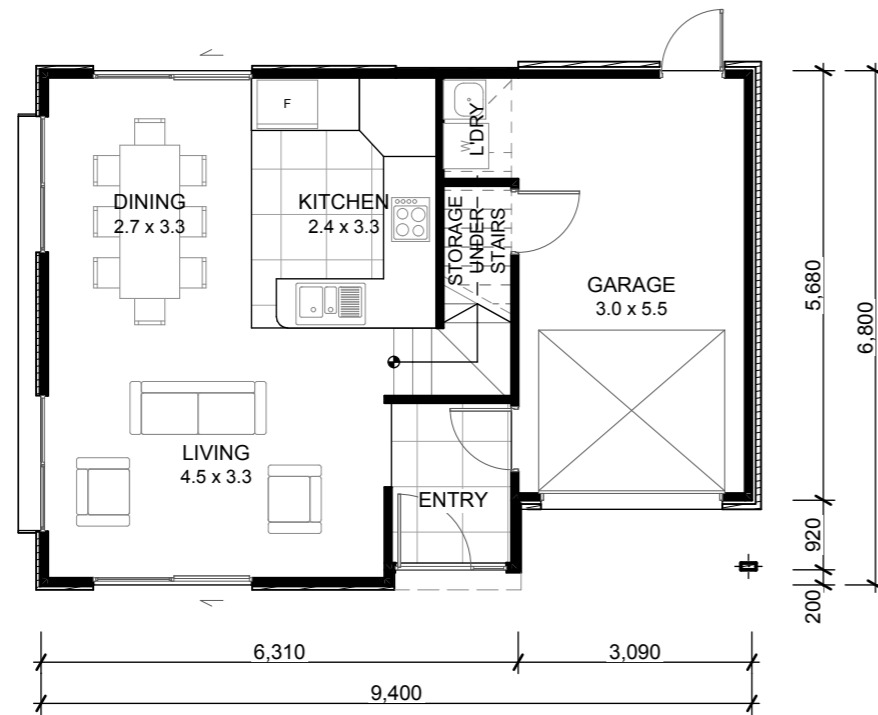
TYPE D1 - GROUND	60.34
TYPE D1 - UPPER	60.83
TOTAL	121.17 m²

TYOLOGY SUMMARY

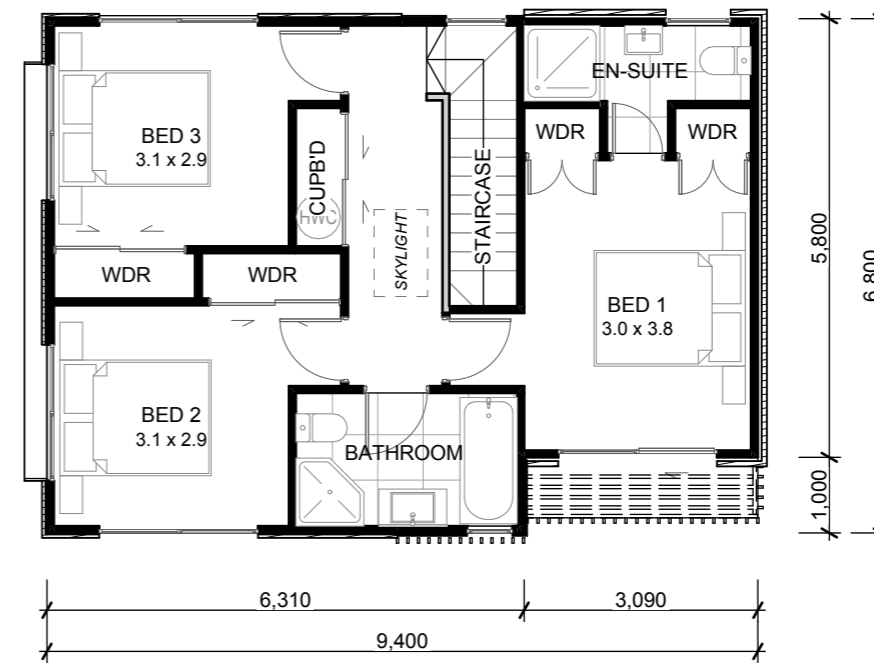
Levels	2
Garage	1
Bathroom	2



Front

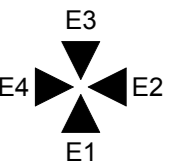
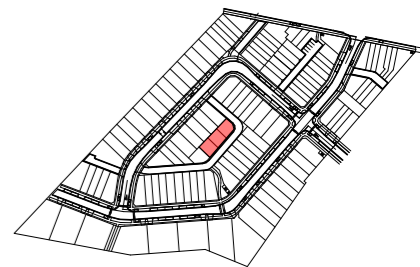


D1.1 - Ground Floor 1:100



D1.1 - First Floor 1:100

SITE LOCATIONS



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Northwest Developments Limited

18 Scott Road

UNIT TYPE D1.1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

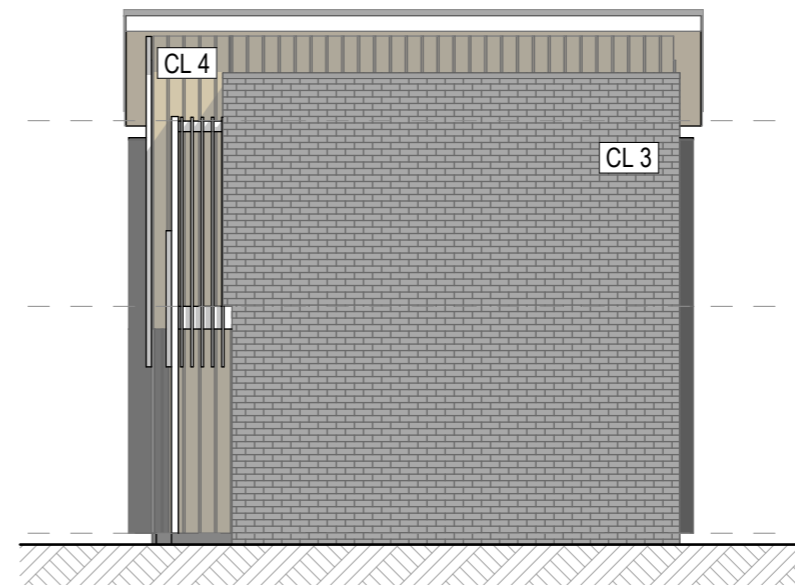
FIBRE CEMENT PANELS

CL 7	
------	--

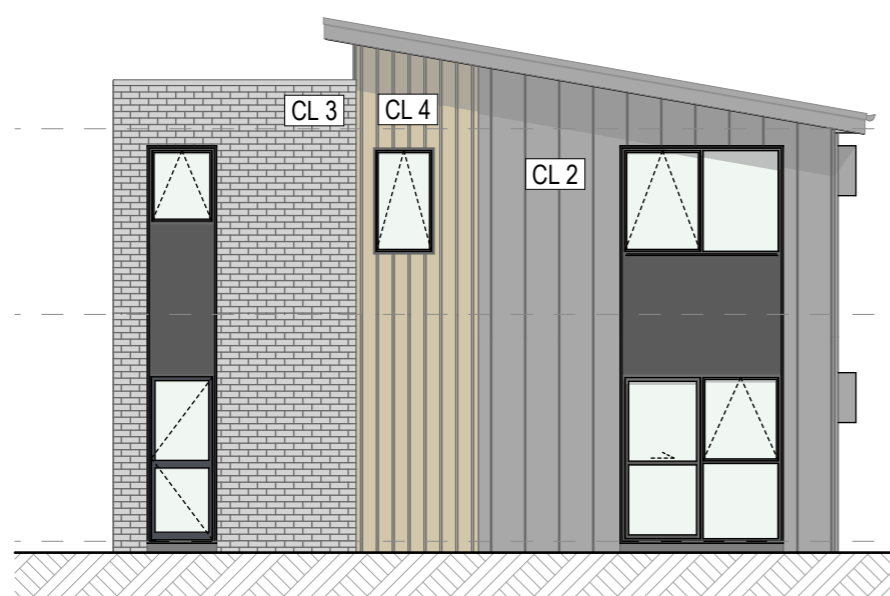
PAINT AND STAIN COLOUR PALETTE



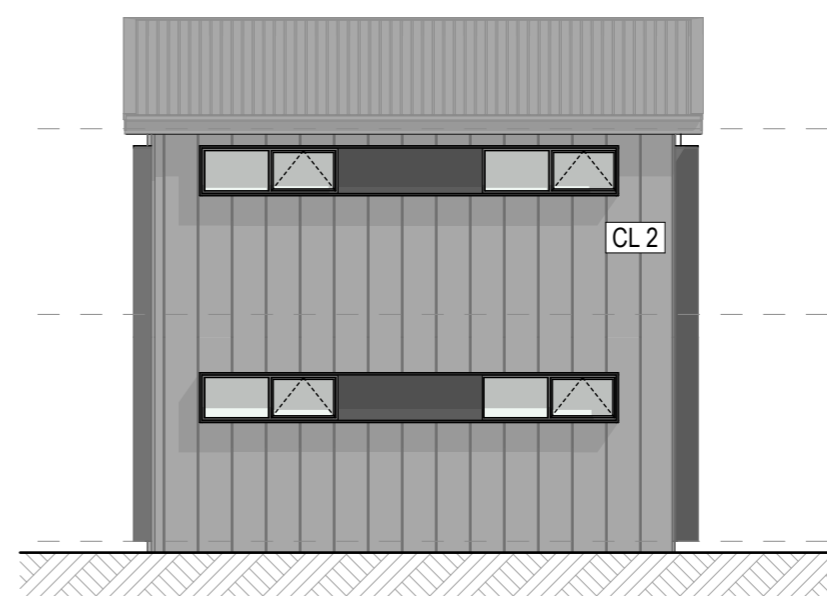
ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

Elevations

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Northwest Developments Limited

18 Scott Road

UNIT TYPE D1.2

AREAS

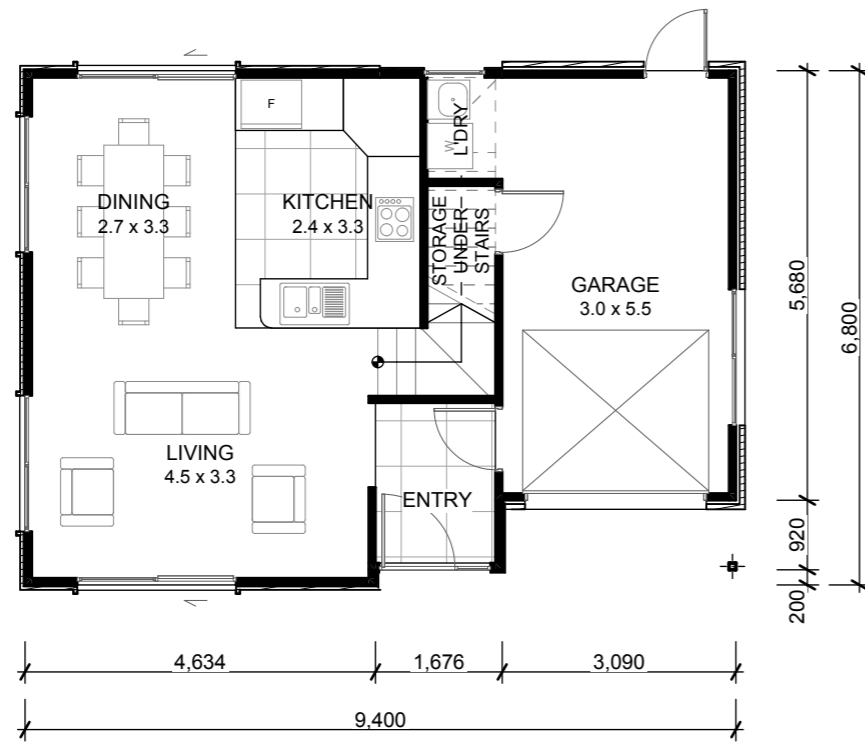
TYPE D1 - GROUND	60.34
TYPE D1 - UPPER	60.83
TOTAL	121.17 m²

TYPOLGY SUMMARY

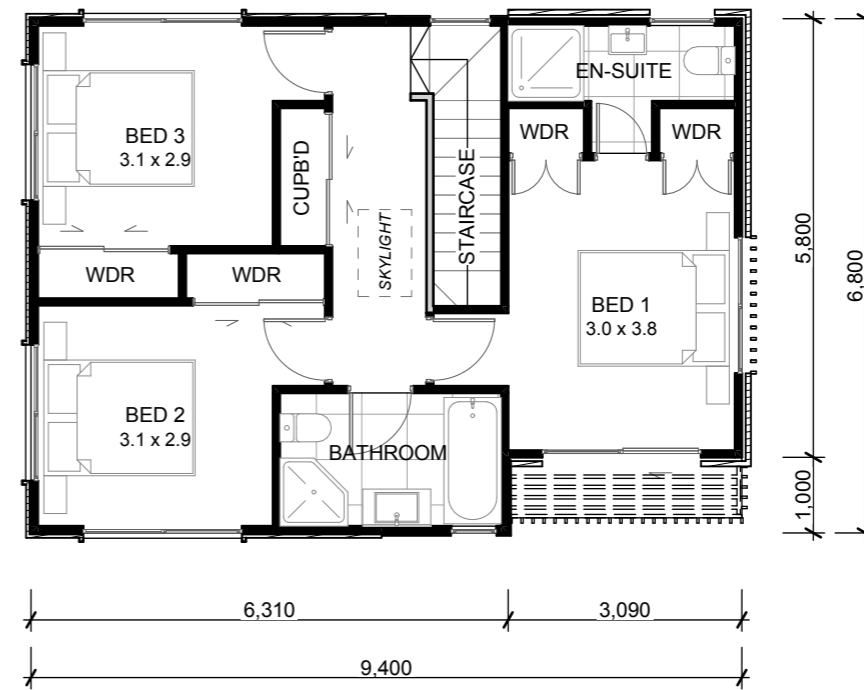
Levels	2
Garage	1
Bathroom	2



Front

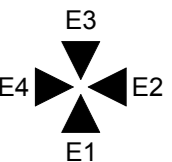
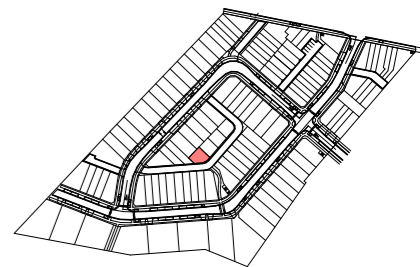


D1.2 - Ground Floor 1:100



D1.2 - First Floor 1:100

SITE LOCATIONS



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UNIT TYPE D1.2 :

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

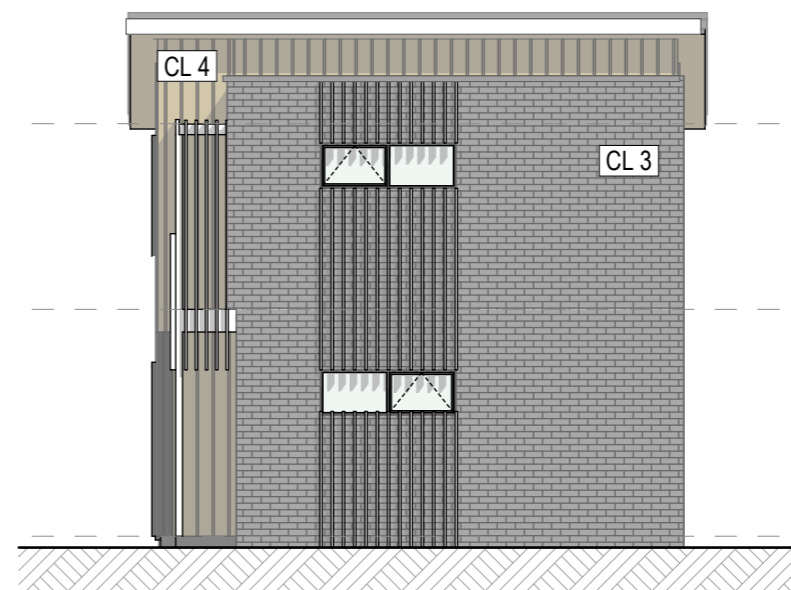
FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

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Scale @A3: 1:100, 1:50



Front

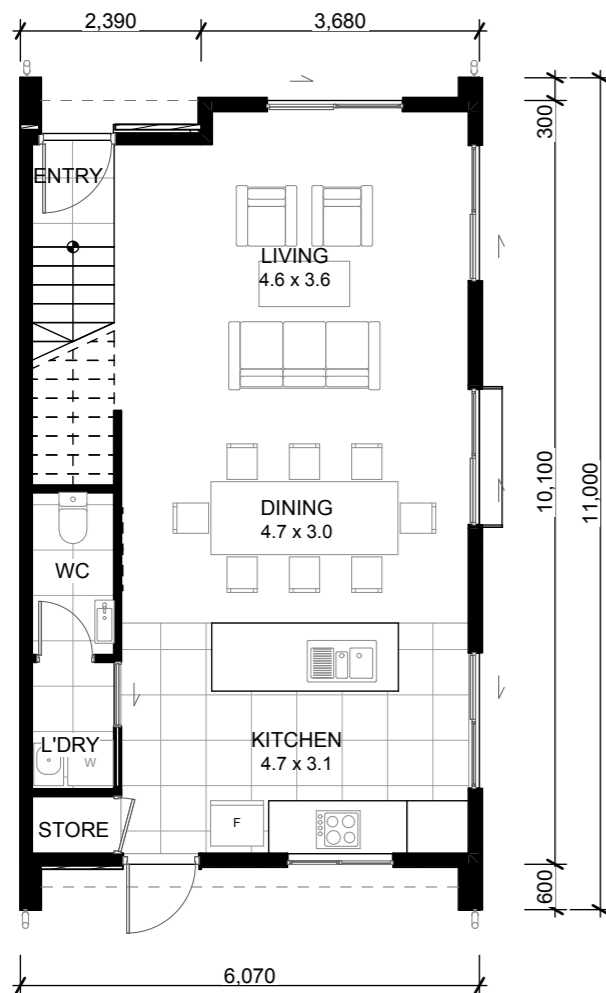
UNIT TYPE E1.1

AREAS

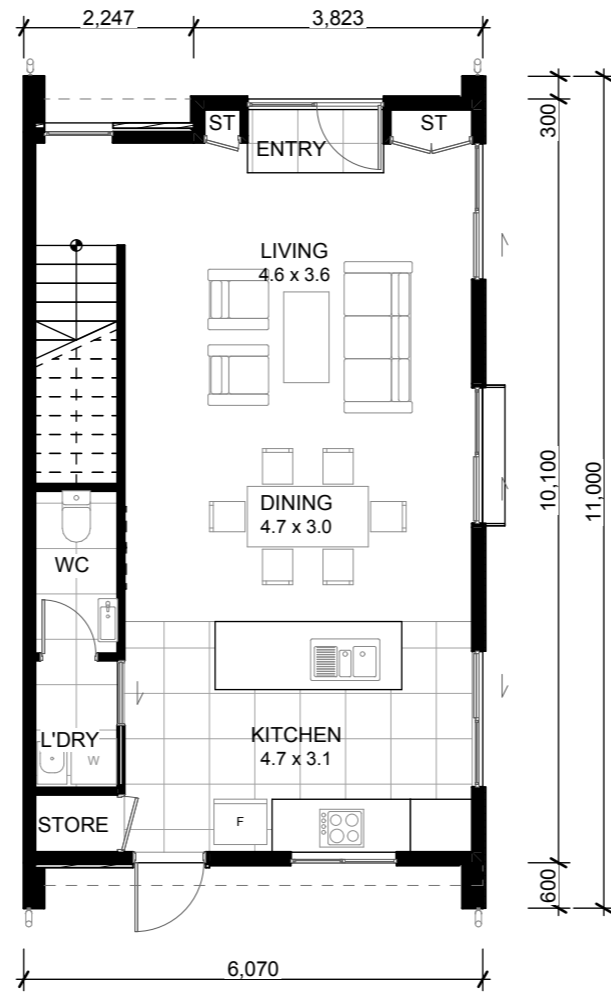
TYPE E1.1 - GROUND	60.27
TYPE E1.1 - UPPER	63.13
TOTAL	123.40 m²

TYOLOGY SUMMARY

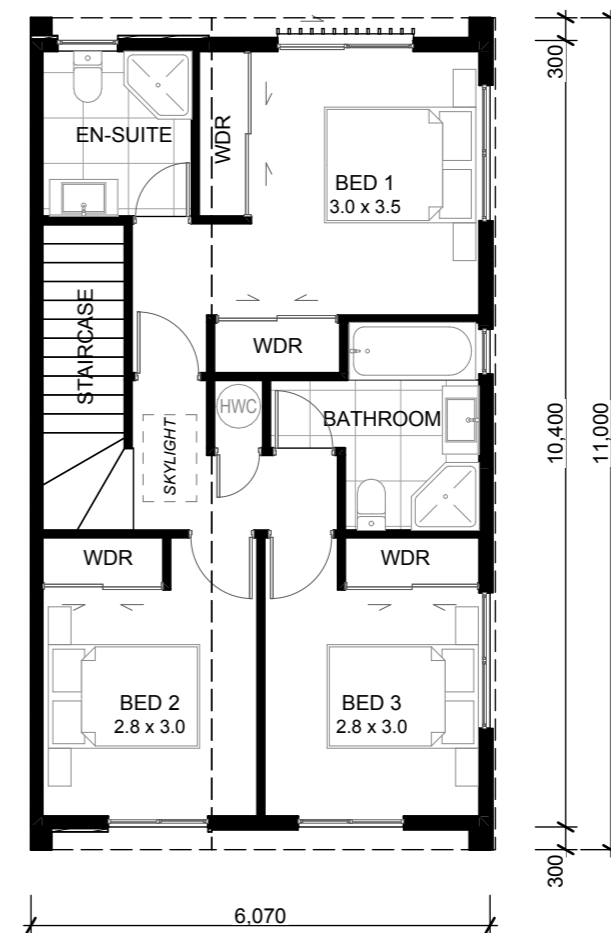
Levels	2
Car Pad	1
Bathroom	2
WC	1



E1.1 - Ground Floor 1:100

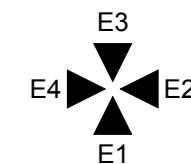
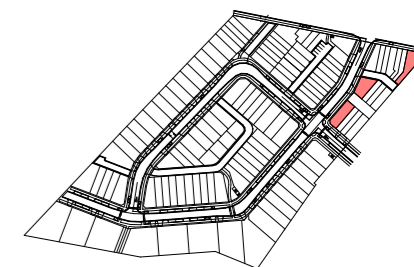


E1.1 - Ground Floor 1:100
Lot 13 only



E1.1 - First Floor 1:100

SITE LOCATIONS



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Northwest Developments Limited

18 Scott Road

UNIT TYPE E1.1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

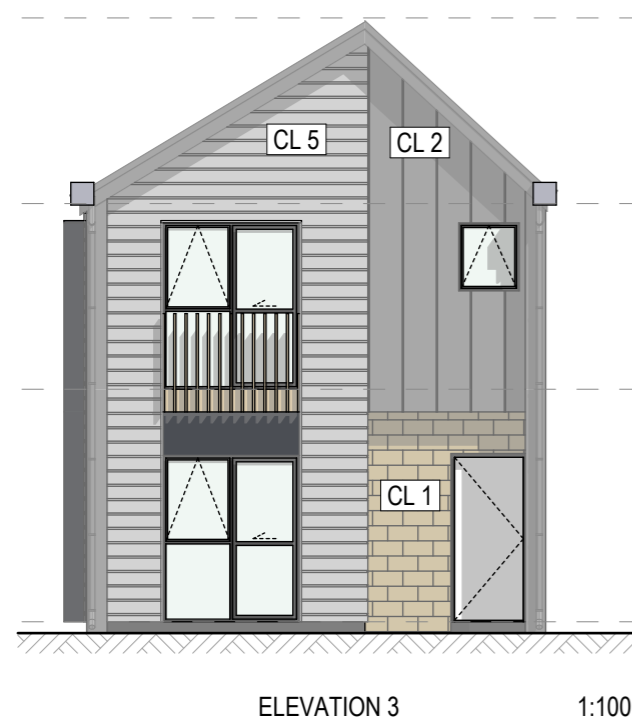
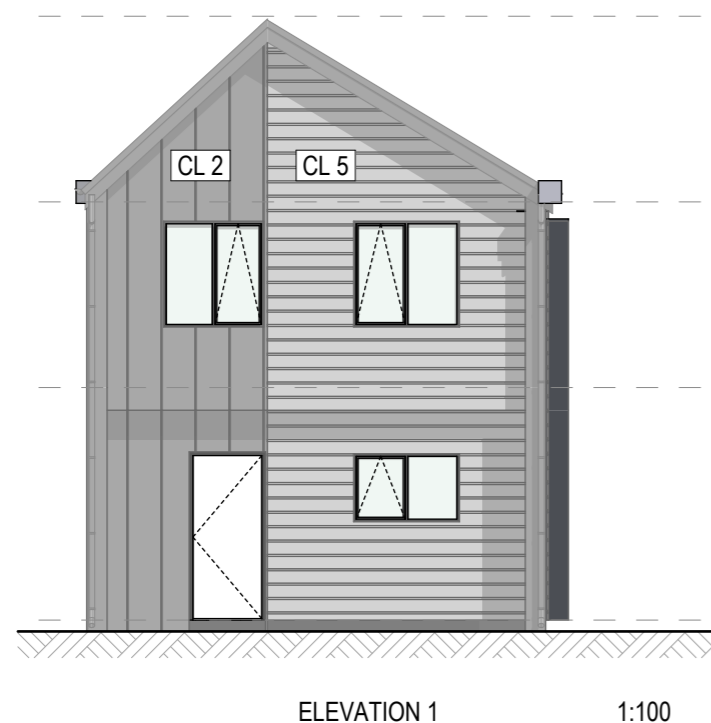
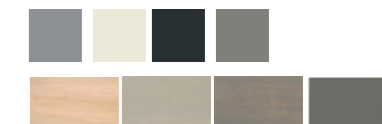
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

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Scale @A3: 1:100, 1:50



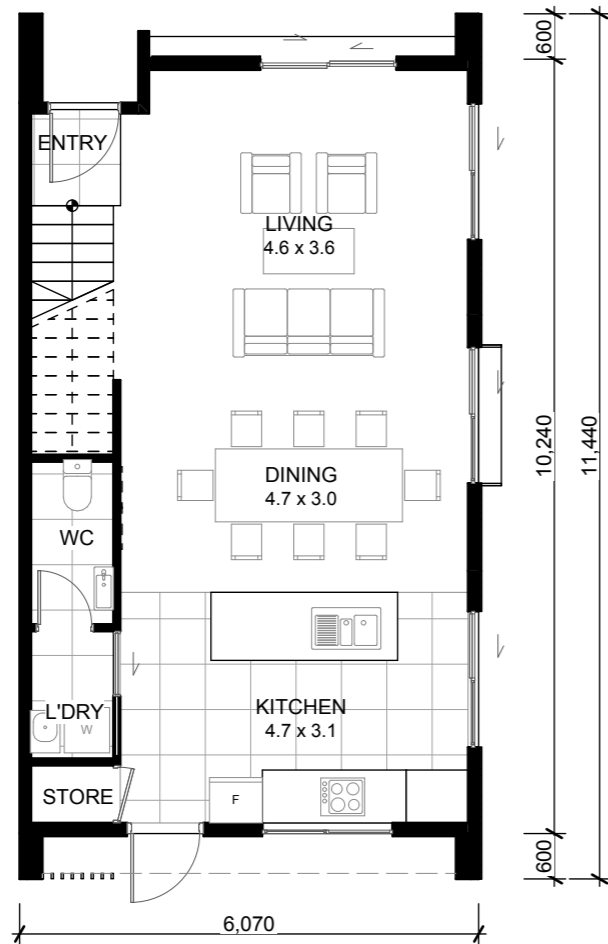
Front



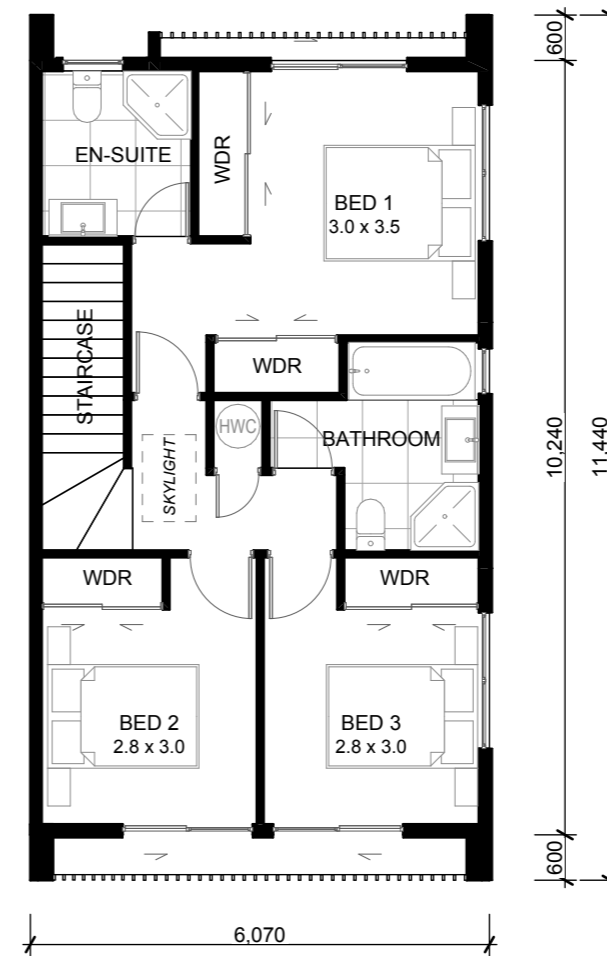
Rear

AREAS	
TYPE E1.2 - GROUND	61.25
TYPE E1.2 - UPPER	62.16
TOTAL	123.41 m²

TYPOLOGY SUMMARY	
Levels	2
Car Pad	1
Bathroom	2
WC	1

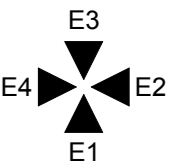
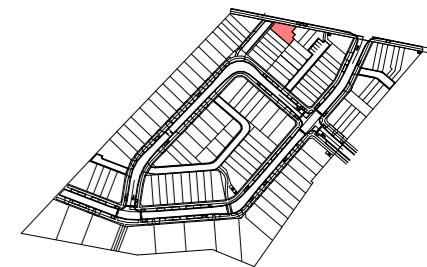


E1.2 - Ground Floor 1:100



E1.2 - First Floor 1:100

SITE LOCATIONS



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UNIT TYPE E1.2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

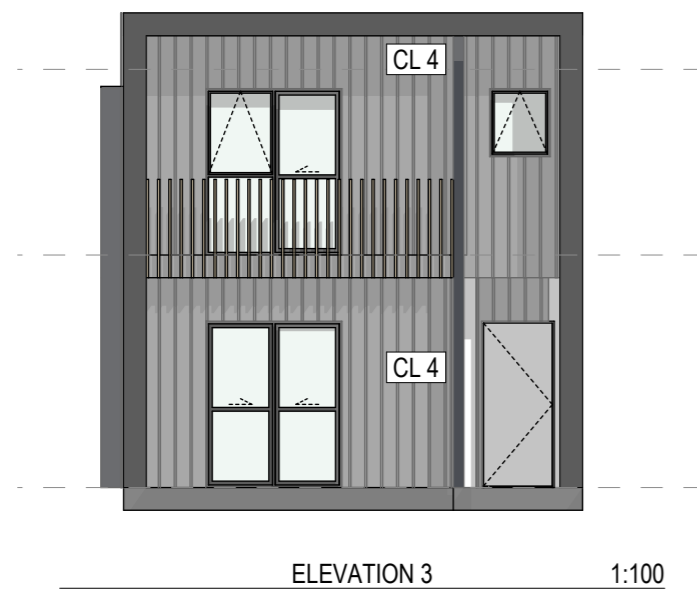
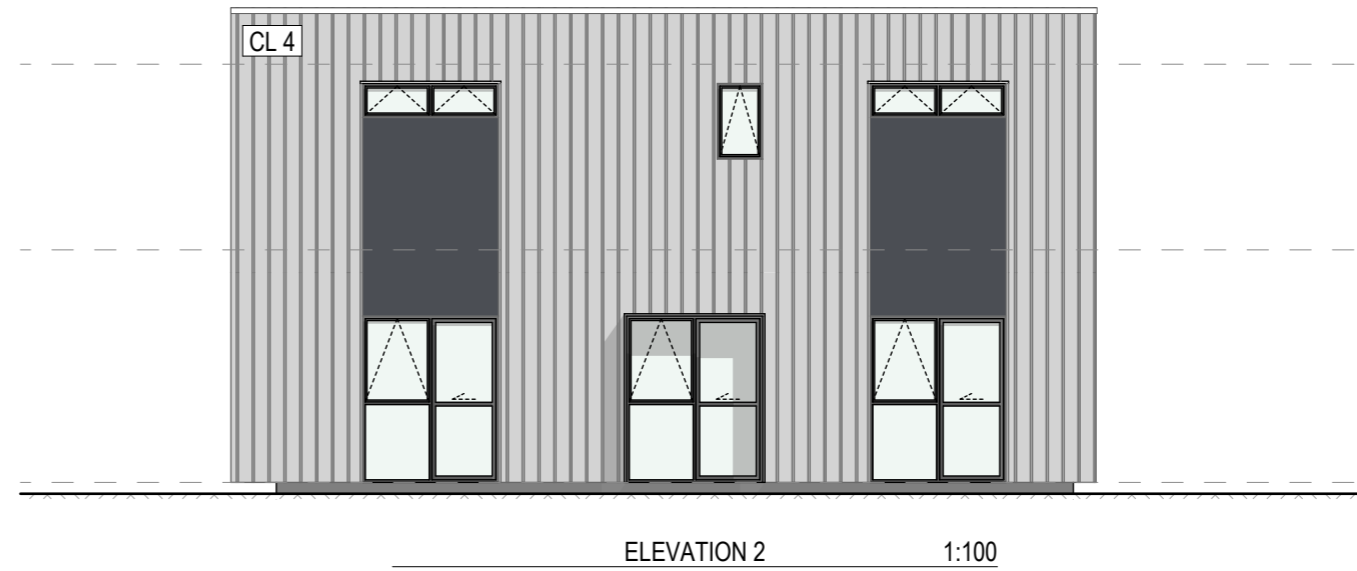
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

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Scale @A3: 1:100, 1:50

Northwest Developments Limited

18 Scott Road

UNIT TYPE F

AREAS

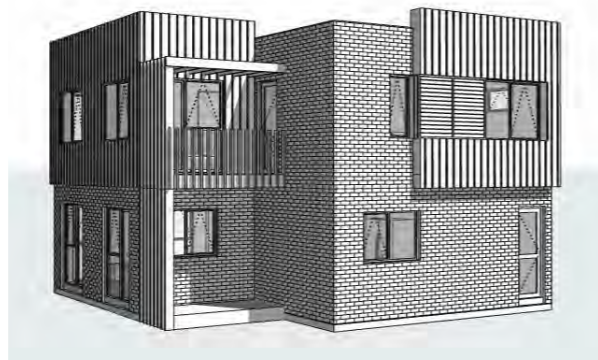
TYPE F - GROUND	62.64
TYPE F - UPPER	73.37
Total	136.01 m²

TYOLOGY SUMMARY

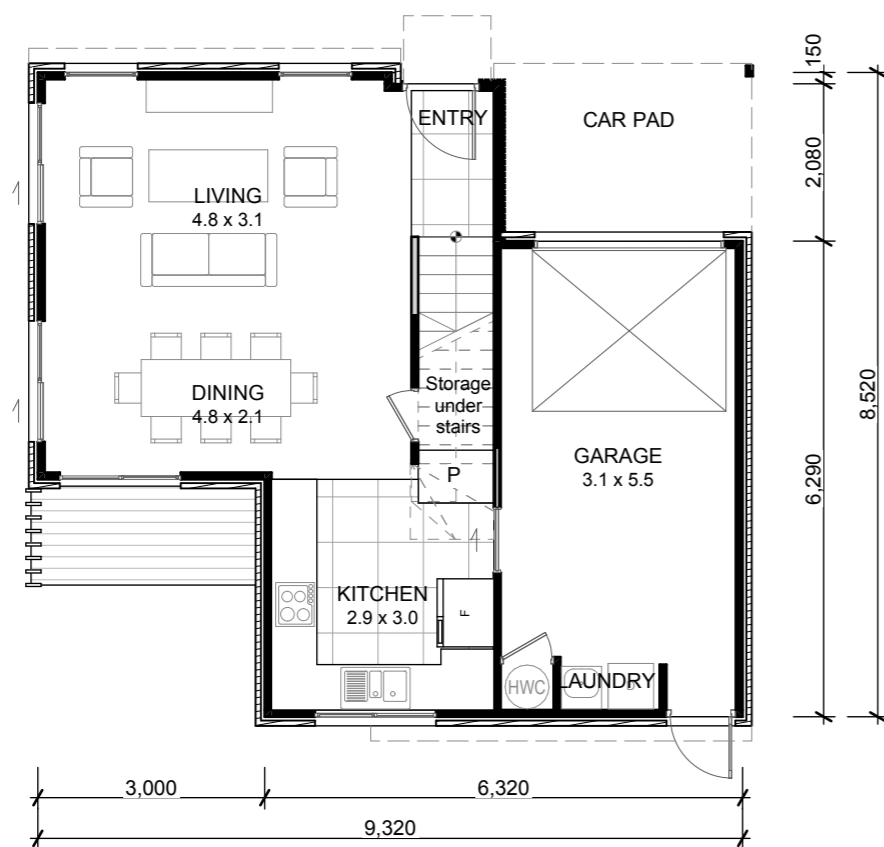
Levels	2
Garage	1
Bathroom	3



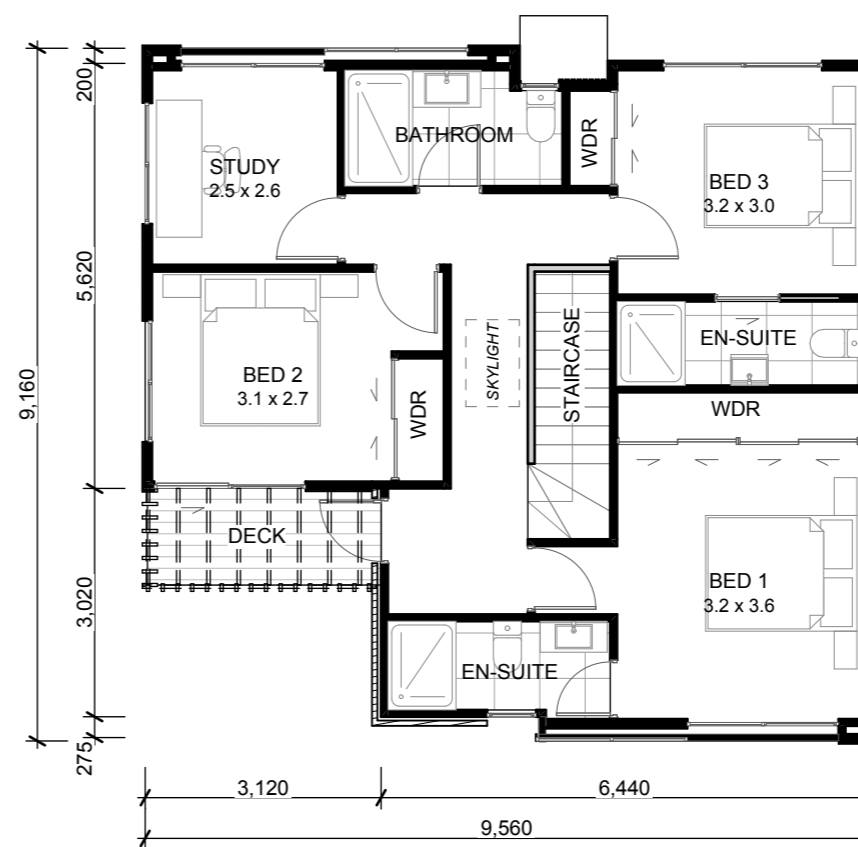
Front



Rear

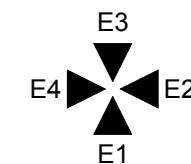
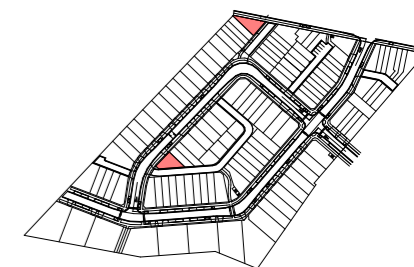


F - Ground Floor 1:100



F - First Floor 1:100

SITE LOCATIONS



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Northwest Developments Limited

18 Scott Road

UNIT TYPE F

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

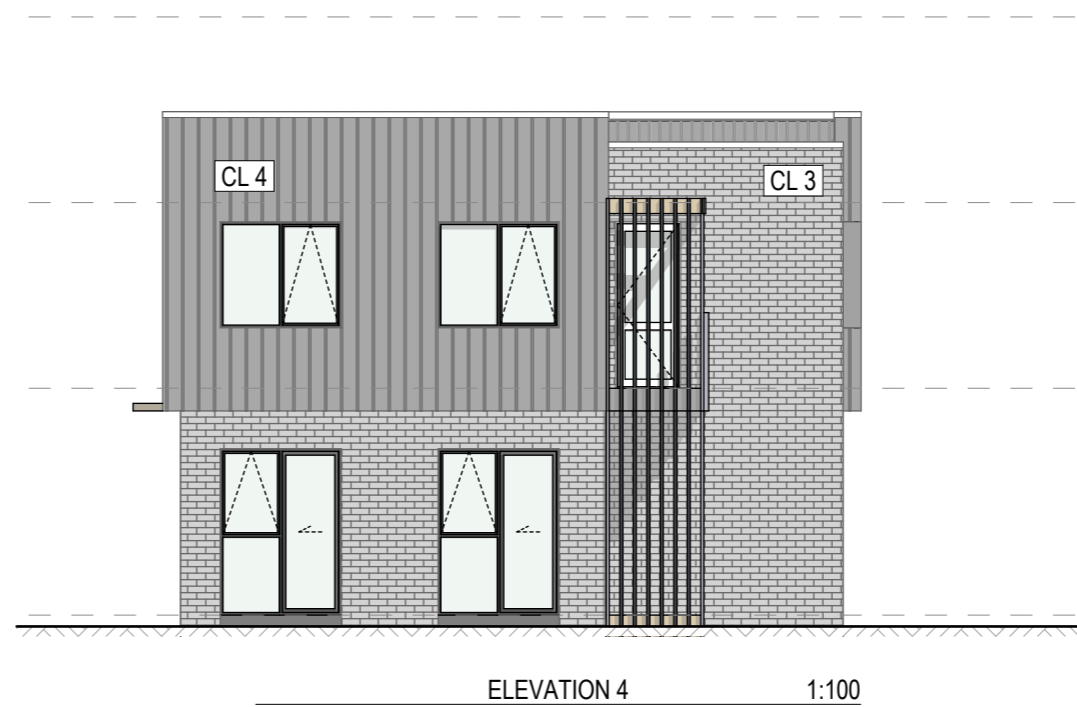
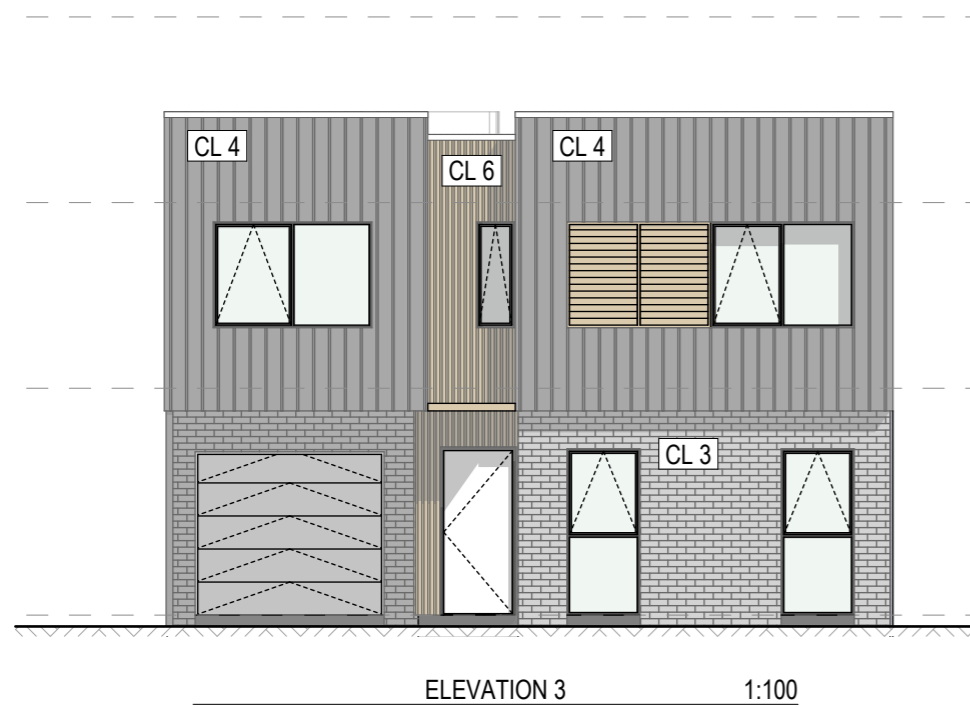
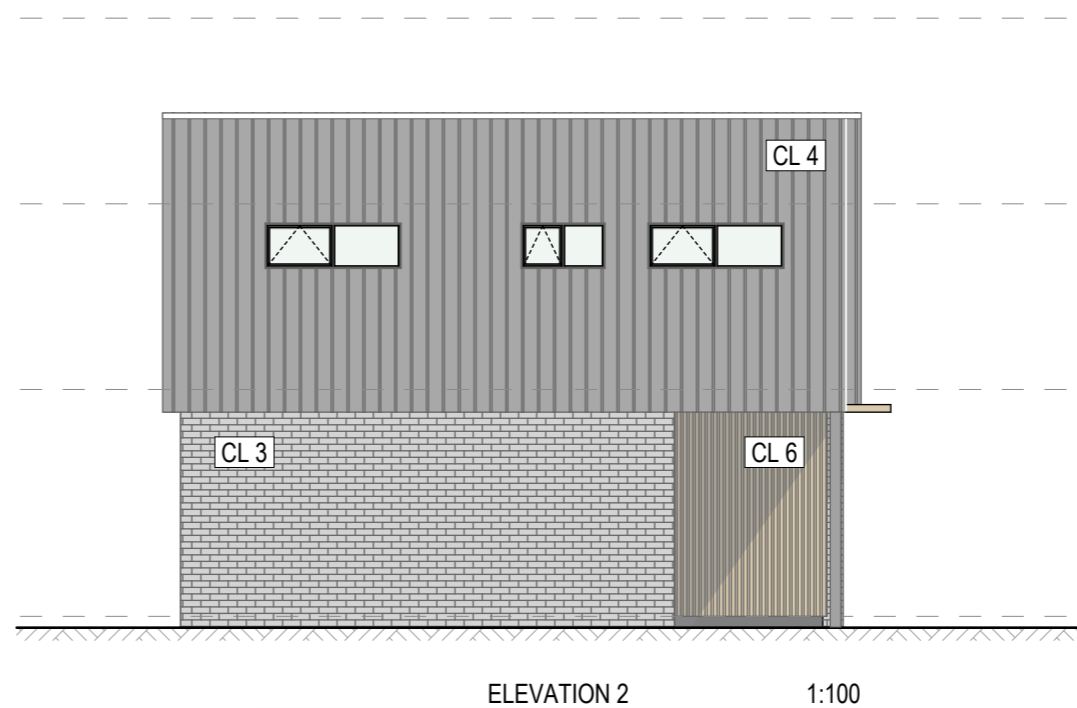
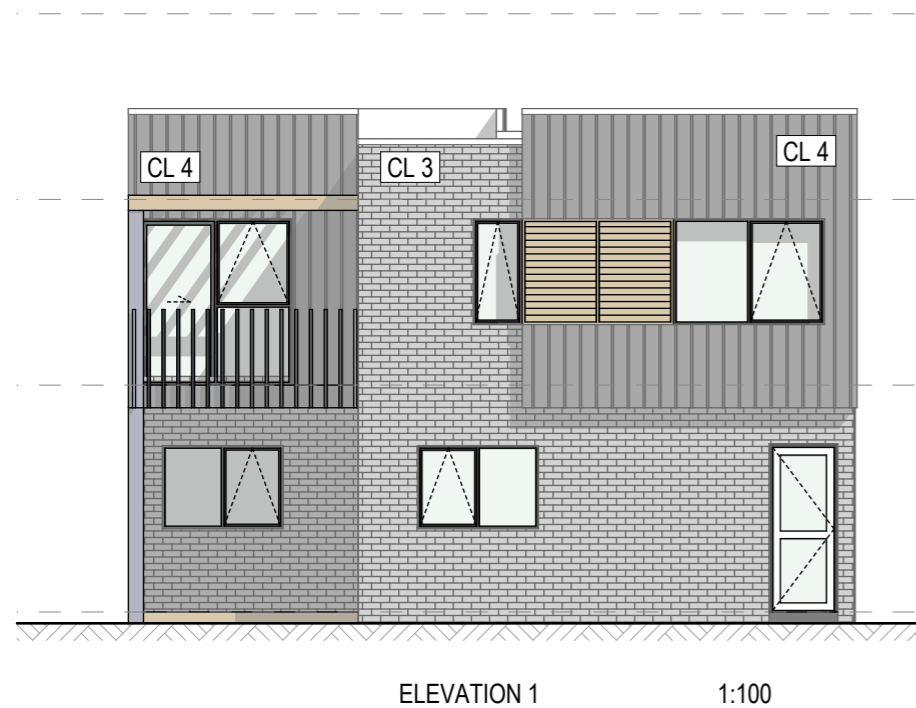
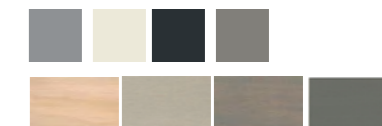
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

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UNIT TYPE G1



Front



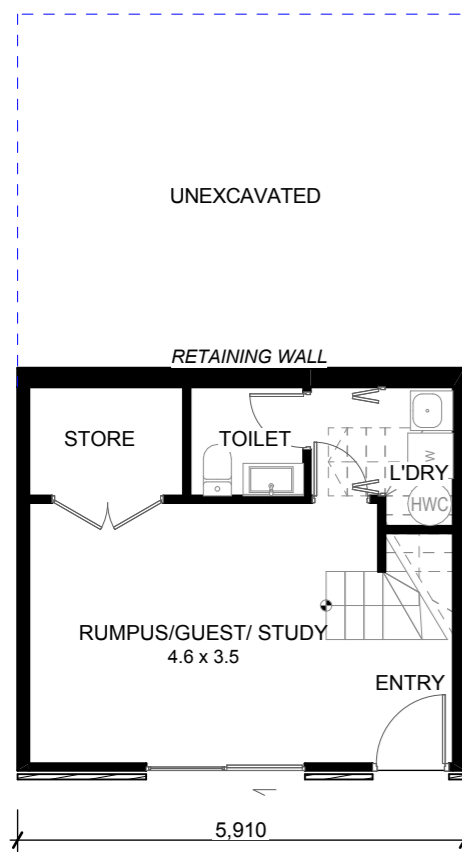
Rear

AREAS

TYPE G1 - BASEMENT	31.45
TYPE G1 - GARAGE	19.68
TYPE G1 - GROUND	59.10
TYPE G1 - UPPER	59.10
Total	169.33 m²

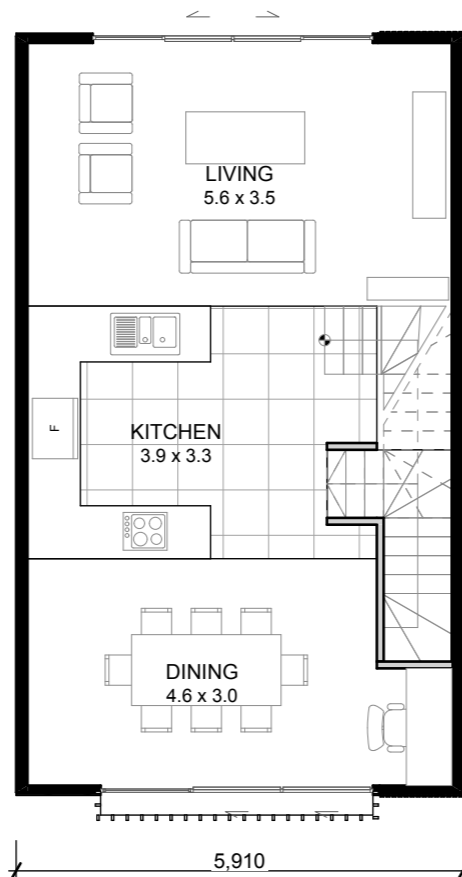
TYOLOGY SUMMARY

Levels	3
Garage	1
Bathroom	2
WC	1



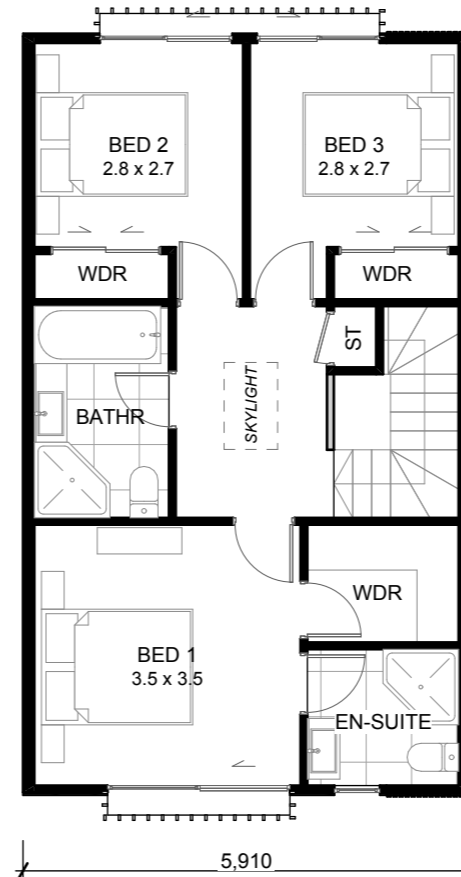
G1 - Basement

1:100



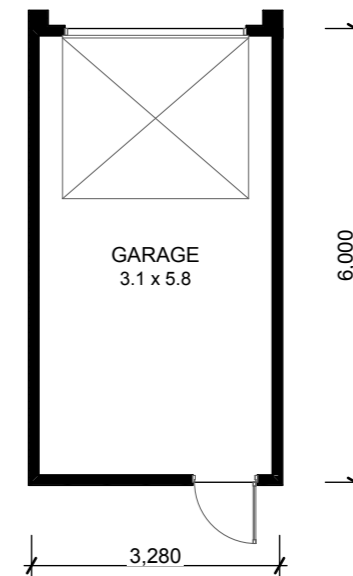
G1 - Ground Floor

1:100



G1 - First Floor

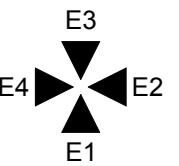
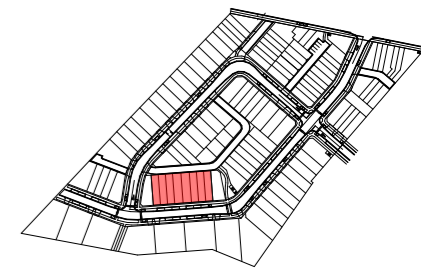
1:100



G1 - Garage

1:100

SITE LOCATIONS



Elevation Reference

Plans

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Northwest Developments Limited

18 Scott Road

UNIT TYPE G1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

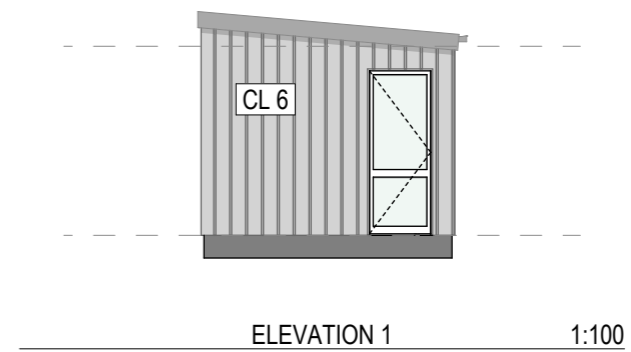
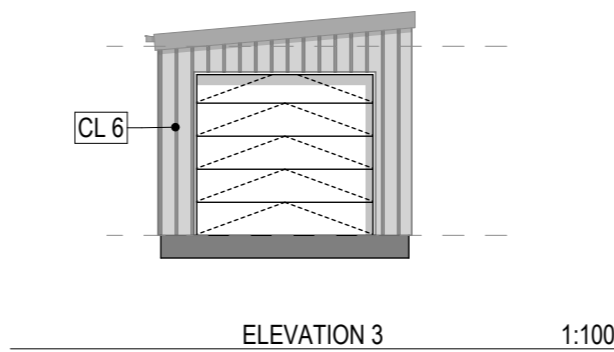
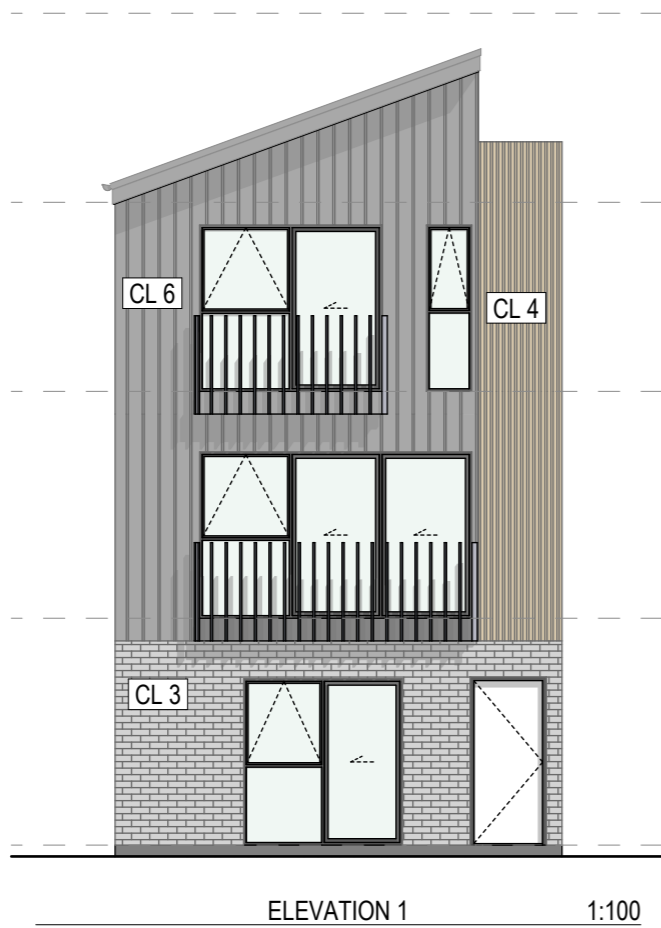
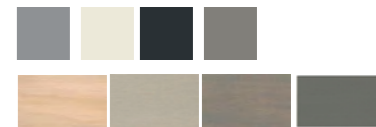
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

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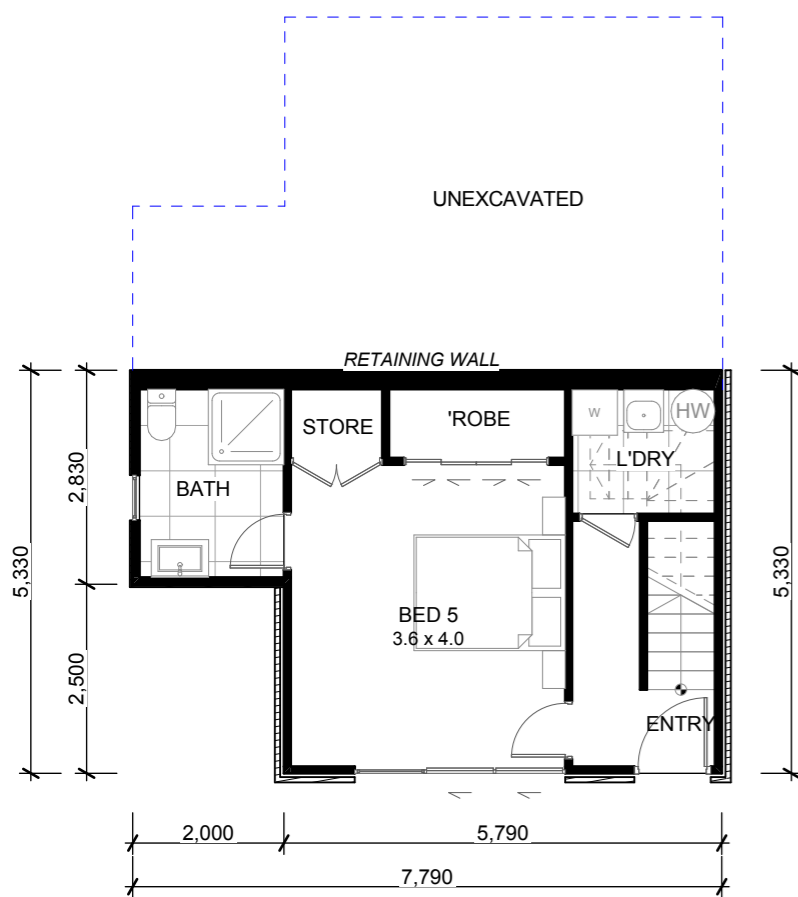
UNIT TYPE H1

AREAS

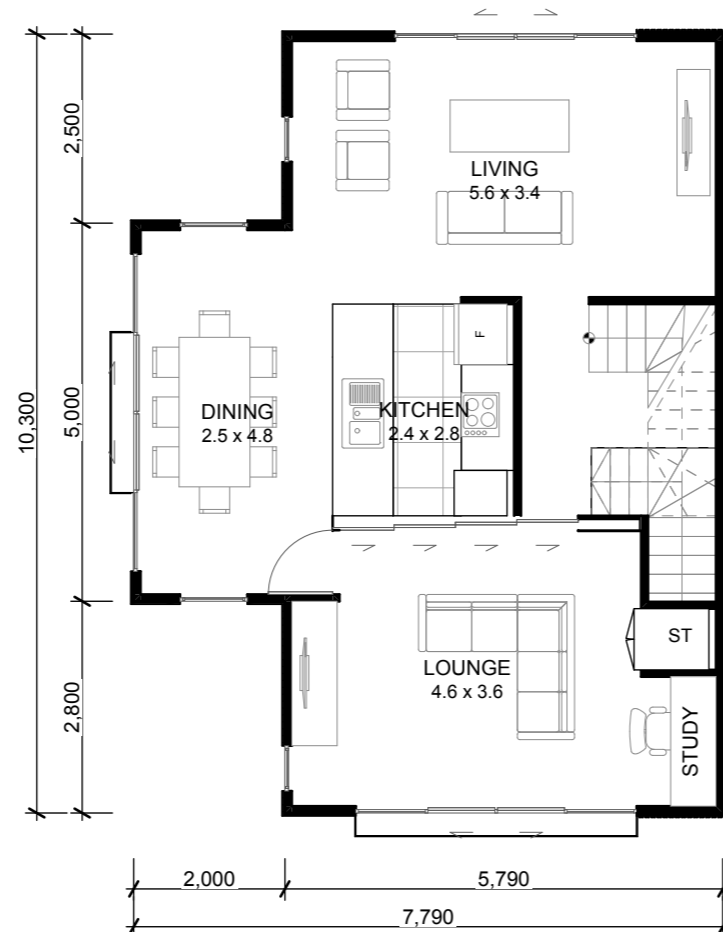
TYPE H1 - BASEMENT	36.51
TYPE H1 - GARAGE	19.68
TYPE H1 - GROUND	69.64
TYPE H1 - UPPER	69.64
TOTAL	195.47 m²

TYOLOGY SUMMARY

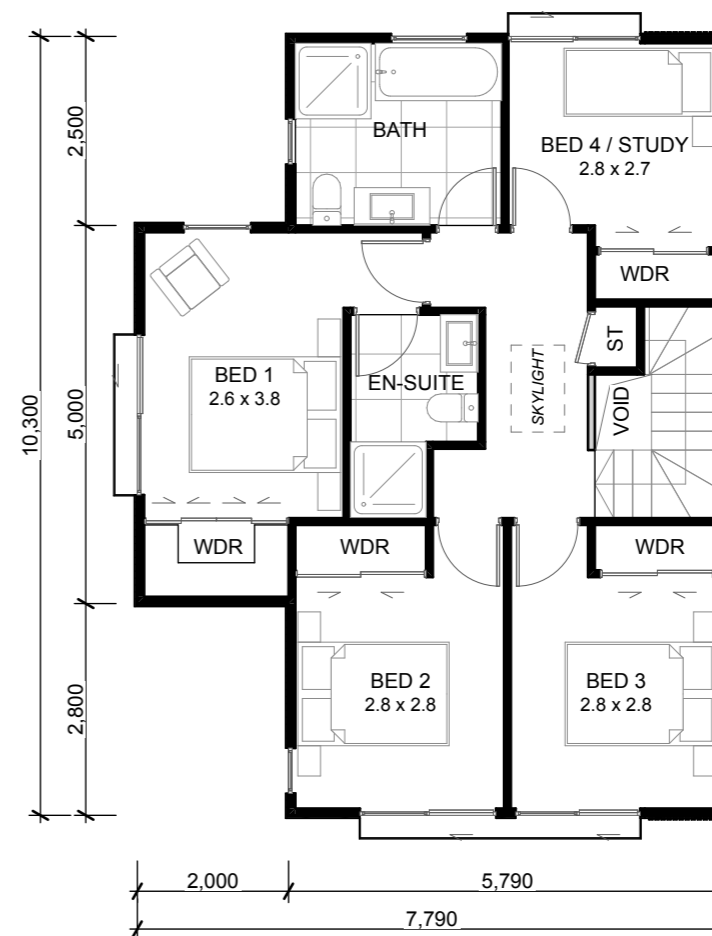
Levels	3
Garage	1
Bathroom	3



H1 - Basement 1:100



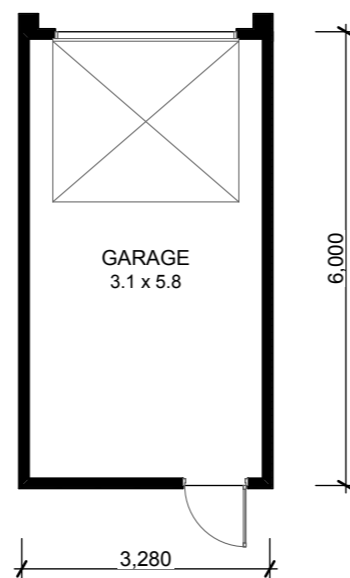
H1 - Ground Floor 1:100



H1 - First Floor 1:100

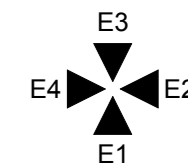
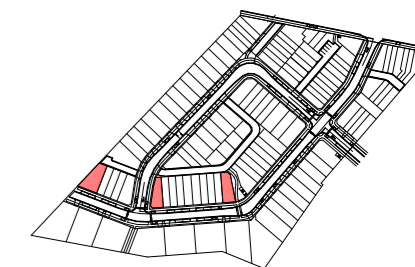


Front



H1 - Garage 1:100

SITE LOCATIONS



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Northwest Developments Limited

18 Scott Road

UNIT TYPE H1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

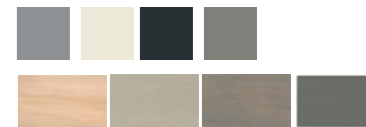
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

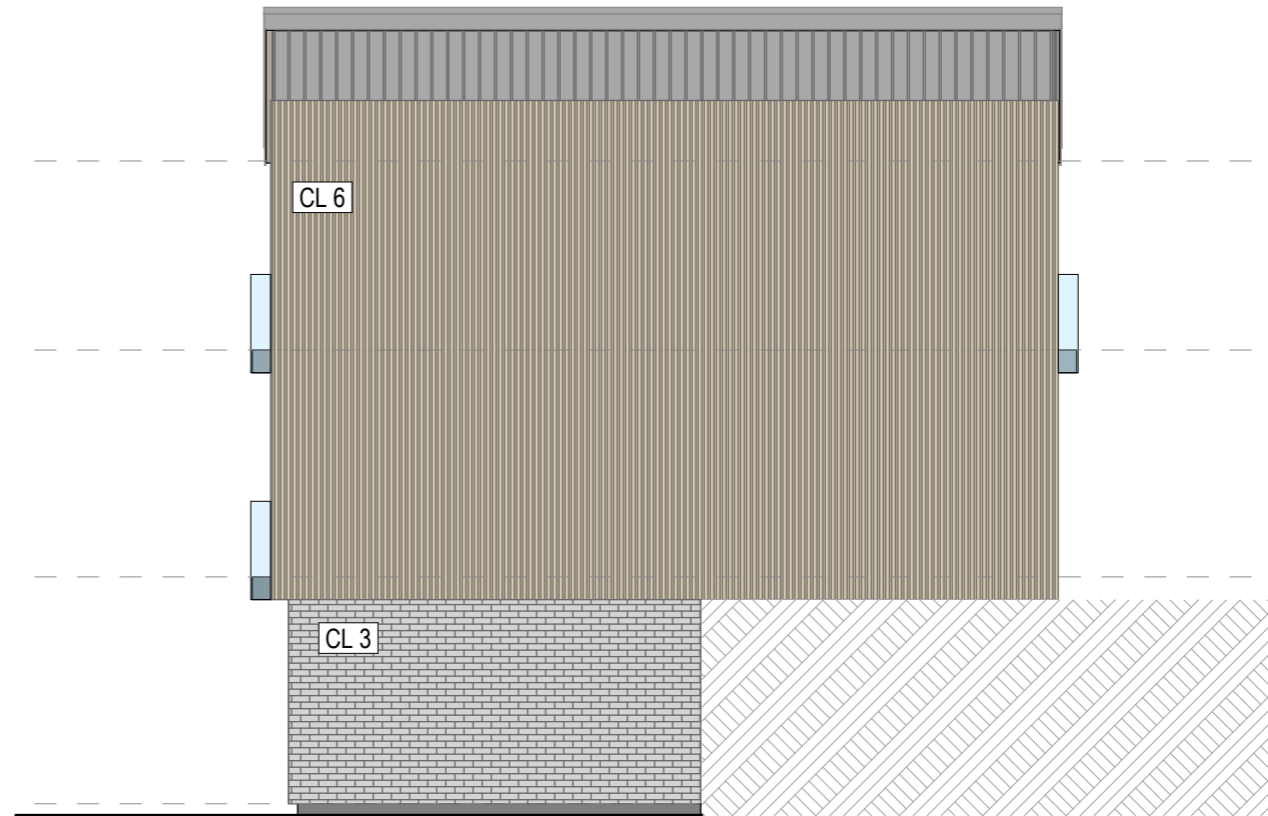
FIBRE CEMENT PANELS

CL 7	
------	--

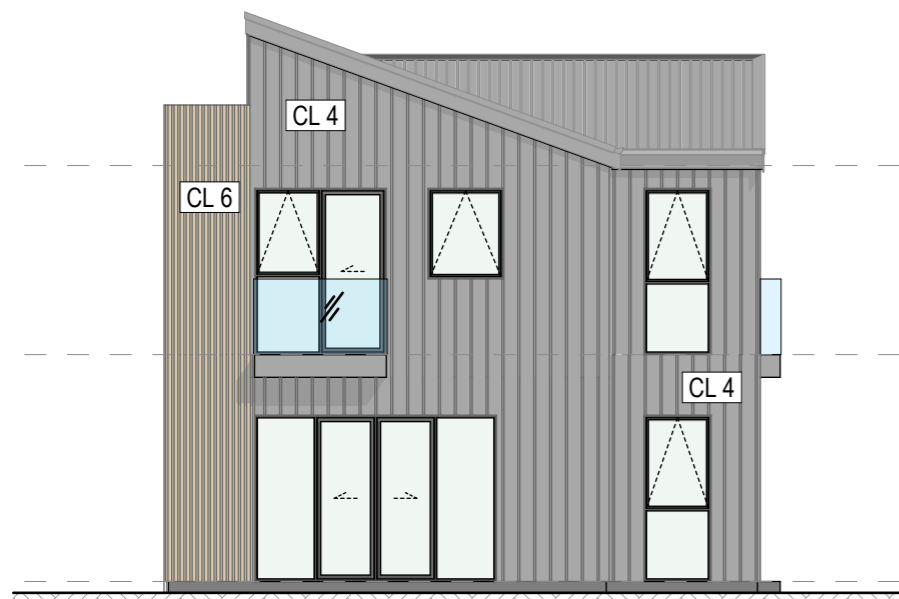
PAINT AND STAIN COLOUR PALETTE



ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

Elevations

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Scale @A3: 1:100, 1:50

Northwest Developments Limited

18 Scott Road

UNIT TYPE H1

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

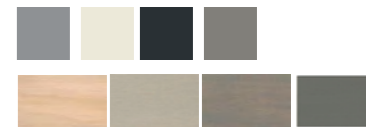
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

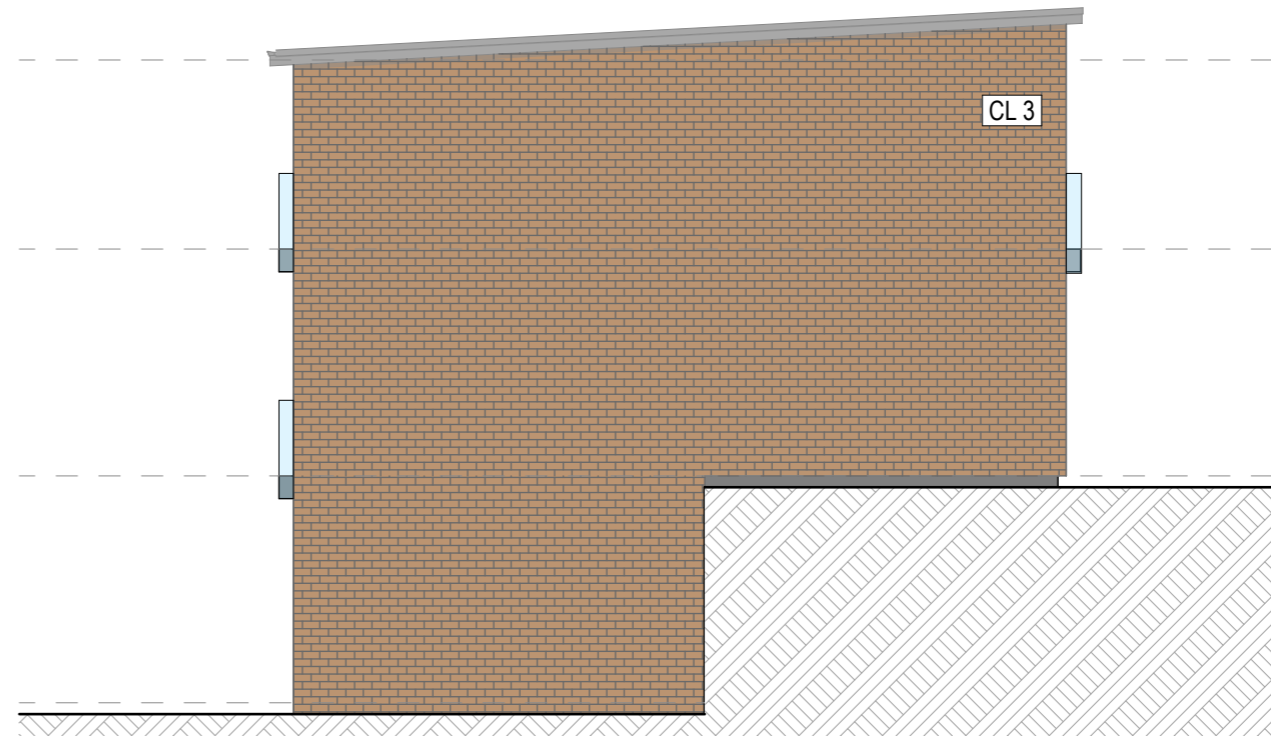
FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

Elevations

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Scale @A3: 1:100, 1:50

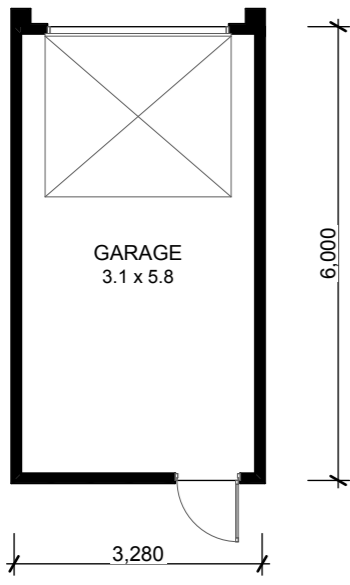
Northwest Developments Limited

18 Scott Road

UNIT TYPE H2

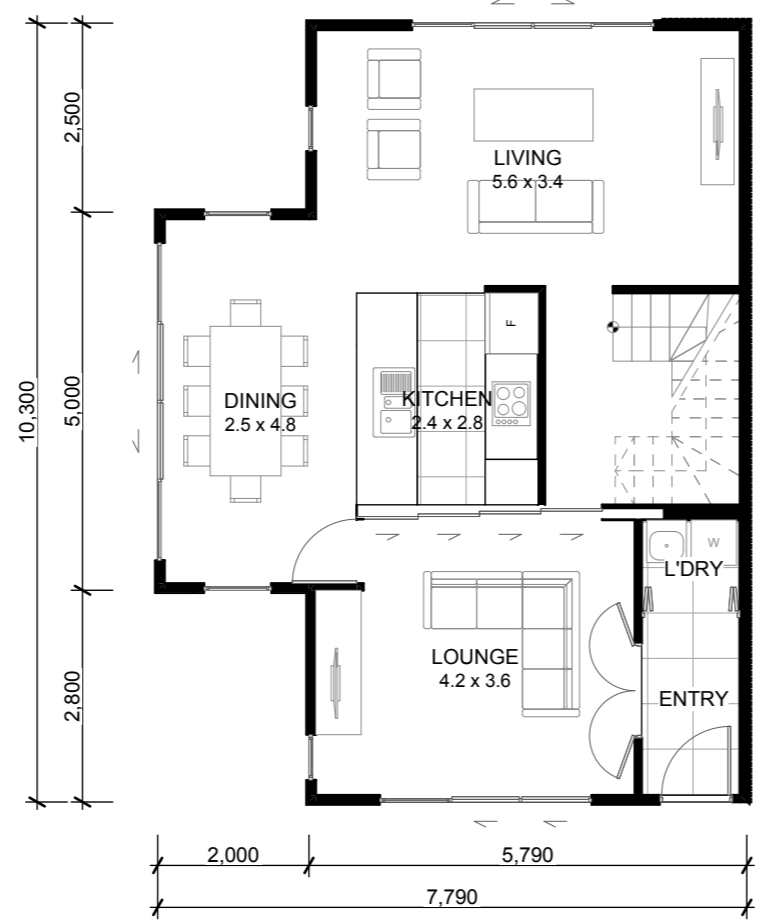
AREAS	
TYPE H2 - GARAGE	19.68
TYPE H2 - GROUND	69.64
TYPE H2 - UPPER	69.64
TOTAL	158.96 m²

TYPOLOGY SUMMARY	
Levels	2
Car pad (lot 75 only)	2
Garage (lot 112 only)	1
Bathroom	2

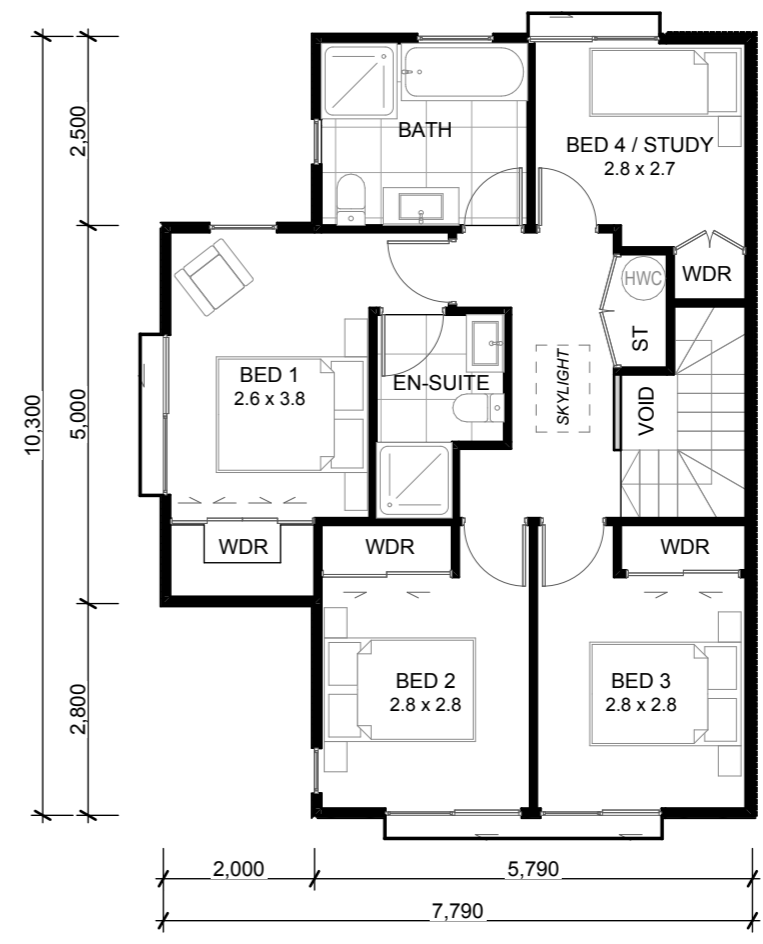


Lot 112 only

H2 - Garage 1:100



H2 - Ground 1:100

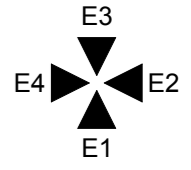
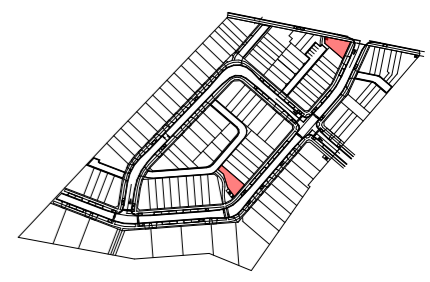


H2 - First Floor 1:100



Front

SITE LOCATIONS

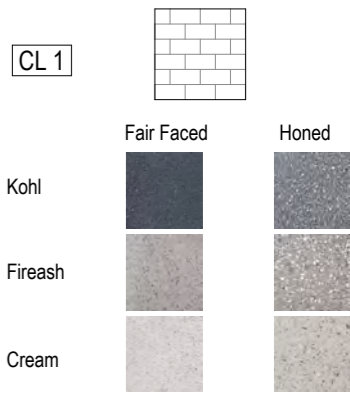


Elevation Reference

UNIT TYPE H2

MATERIALS AND COLOURS

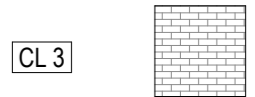
CONCRETE MASONRY VENEER 70 SERIES



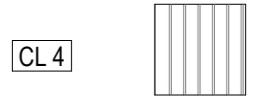
STANDING SEAM METAL CLADDING



BRICK VENEER - PAINTED



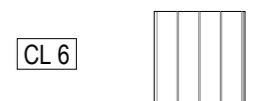
RUSTICATED WEATHERBOARD - VERTICAL



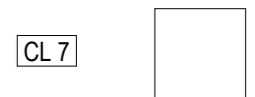
RUSTICATED WEATHERBOARD - HORIZONTAL



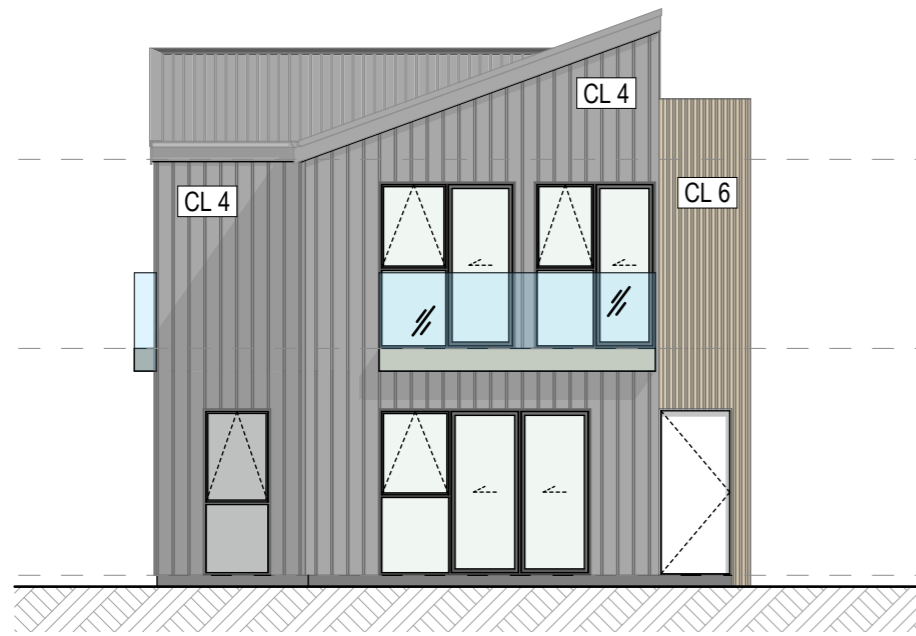
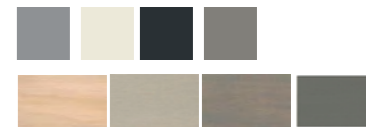
FIBRE CEMENT BOARD - VERTICAL



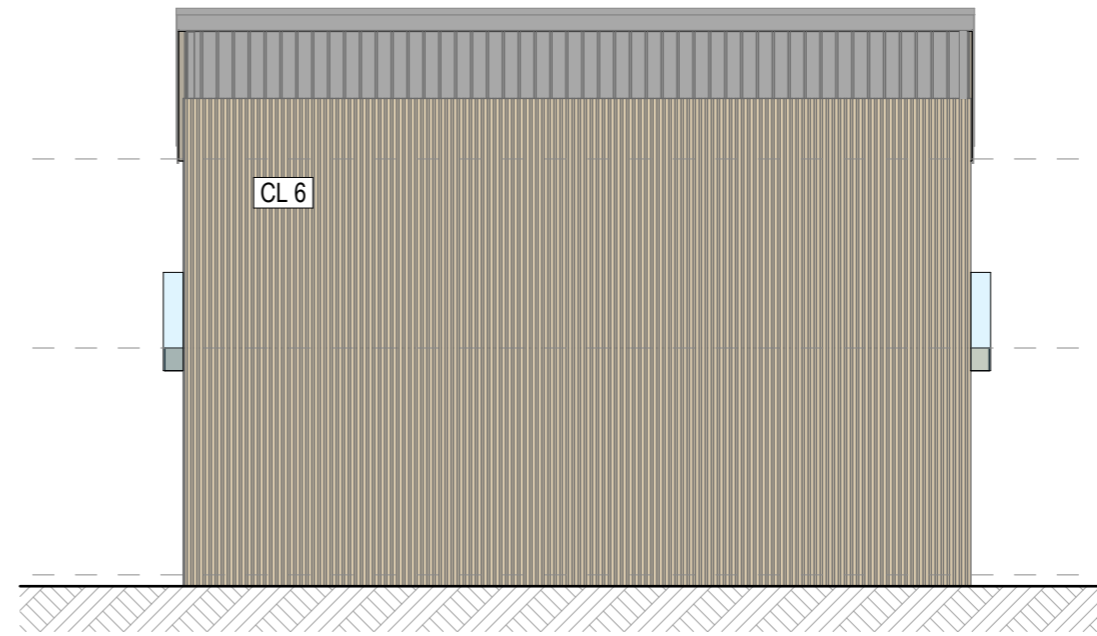
FIBRE CEMENT PANELS



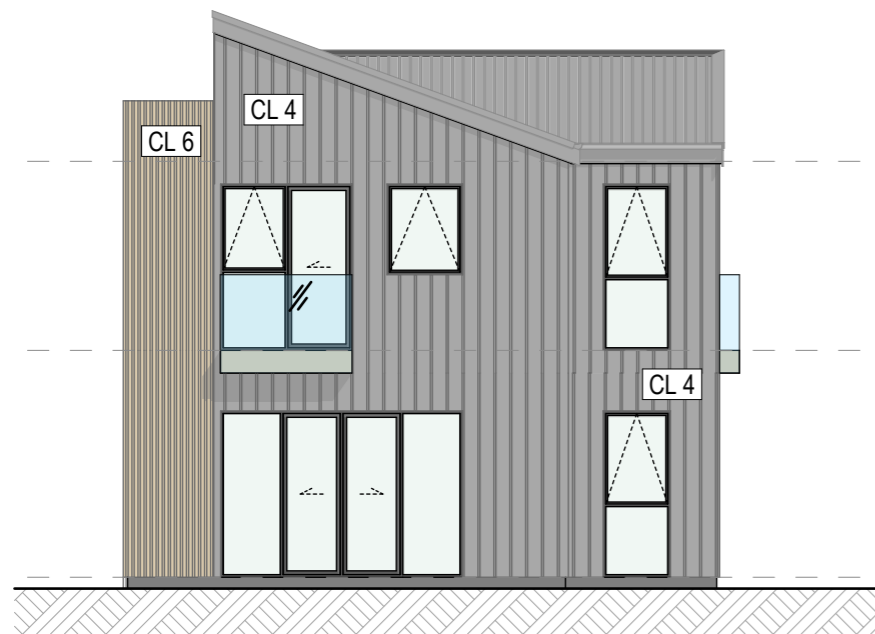
PAINT AND STAIN COLOUR PALETTE



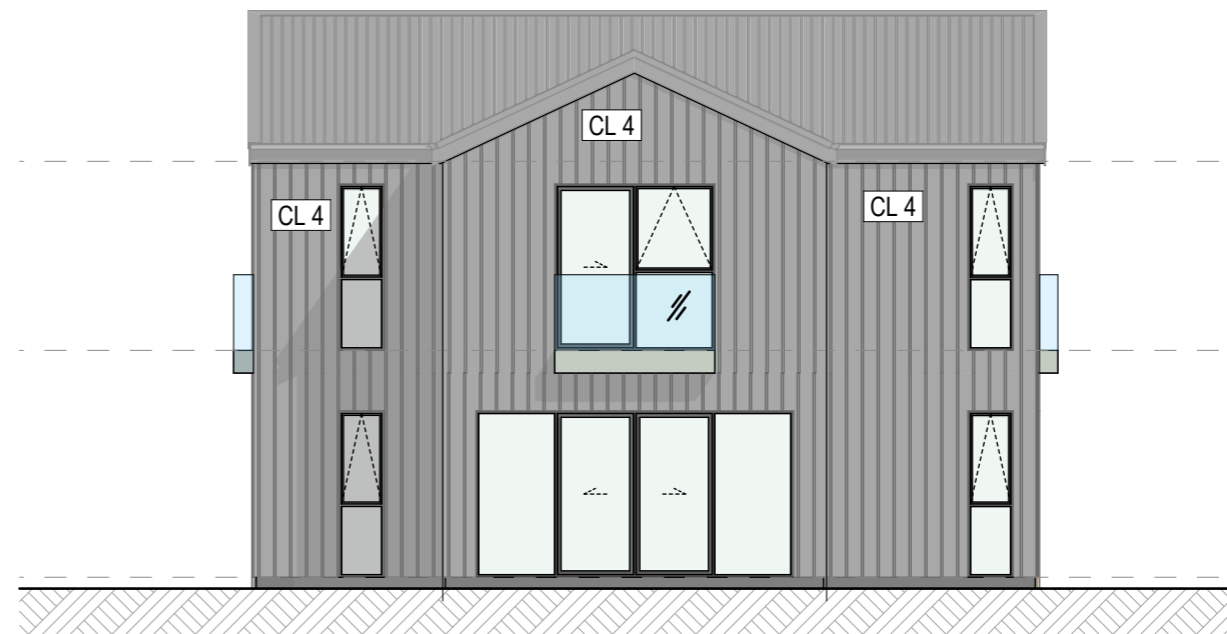
ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

Elevations

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Scale @A3: 1:50

UNIT TYPE H2

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

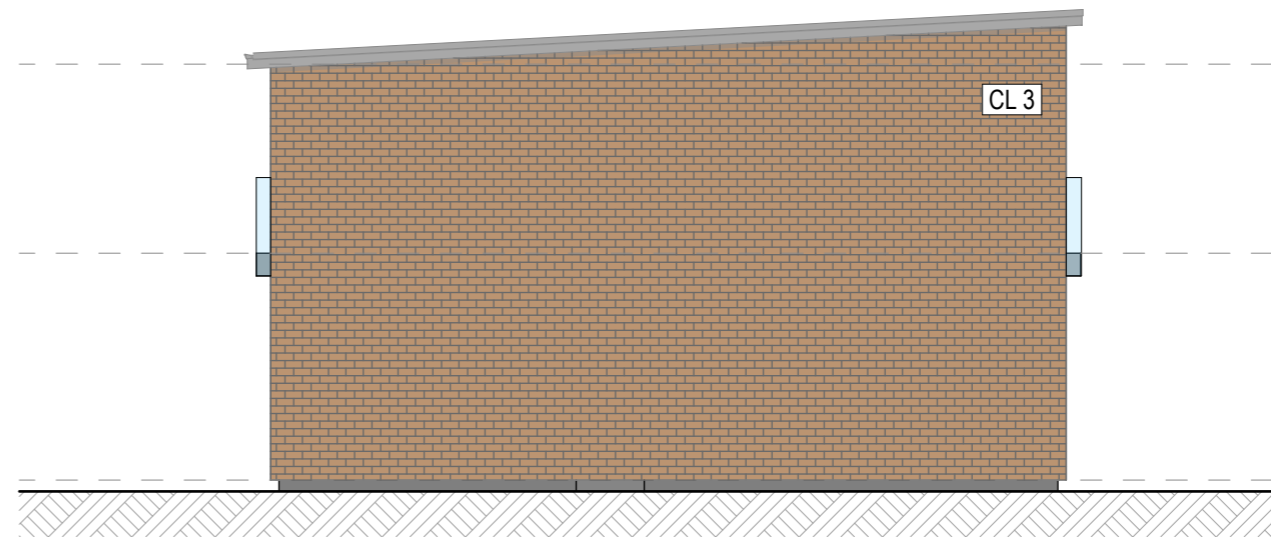
FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100



ELEVATION 4 1:100

Elevations

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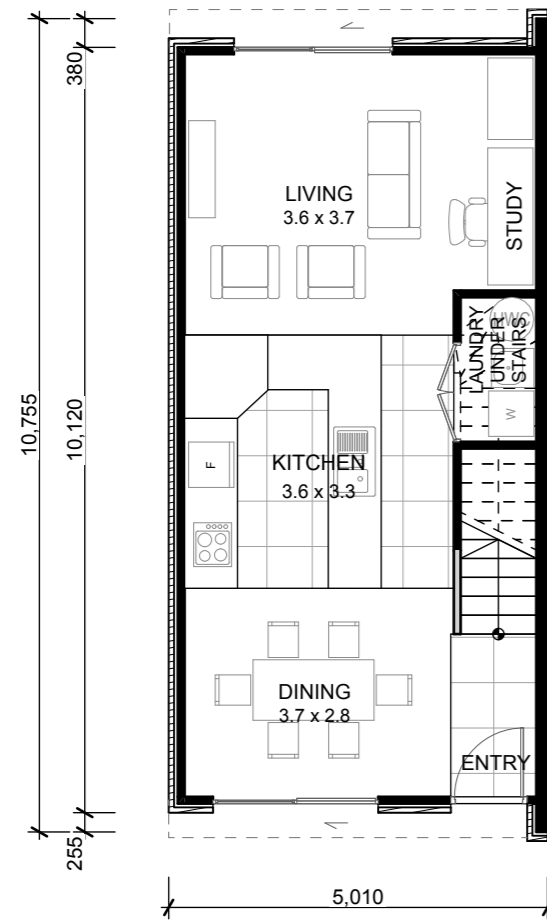


Northwest Developments Limited

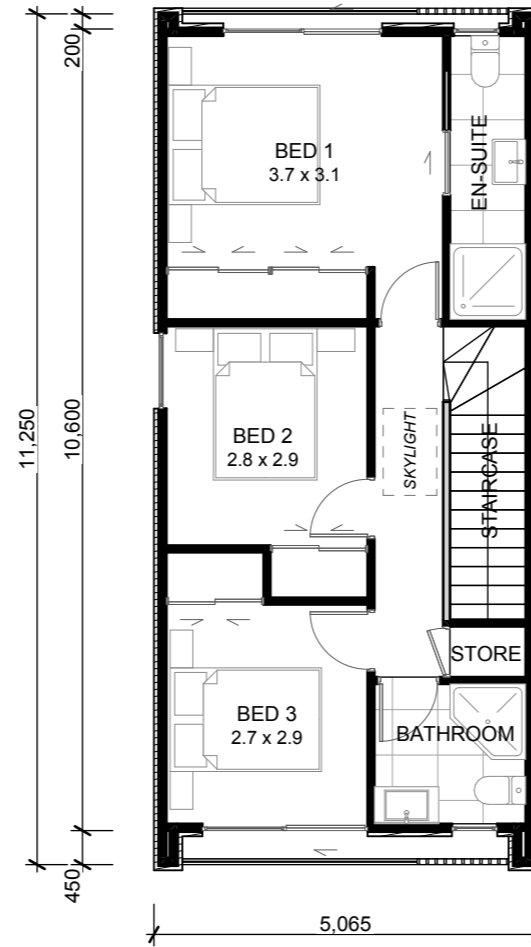
18 Scott Road



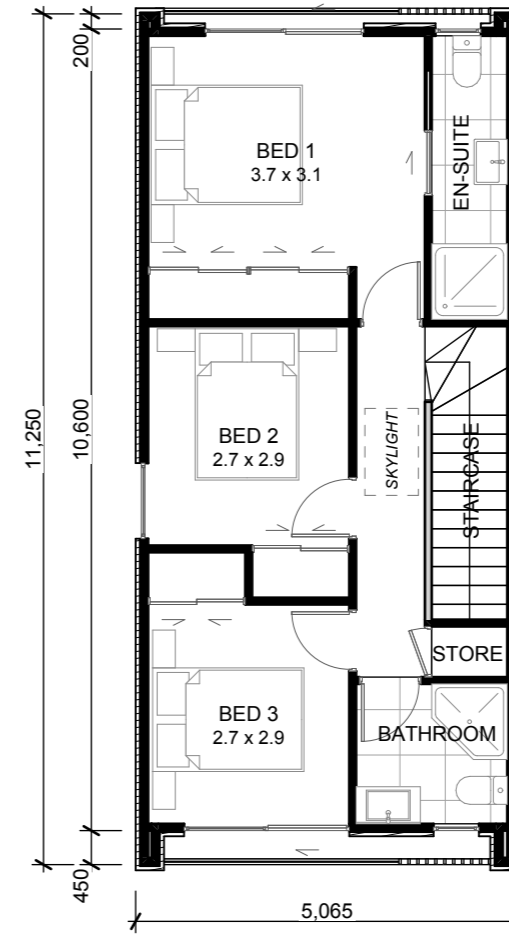
Front



I1 - Ground 1:100



I1 - First Floor 1:100



I1 - First Floor - Alt window 1:100

NOTE FOR BEDROOM 2

For lot 67 and 69, Fire rated windows and a ventilation solution is required to comply with NZBC C1 and C4 section 1.5

Alternative window positions are required so that privacy and 1m outlook can be maintained

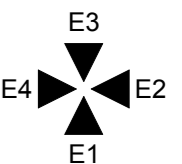
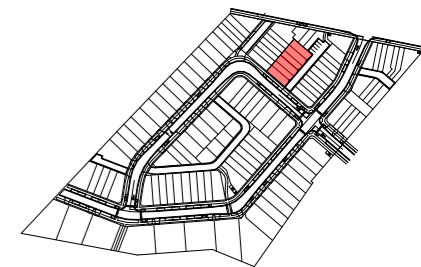
UNIT TYPE I1

AREAS	
TYPE I1 - GROUND	50.00
TYPE I1 - UPPER	53.00
TOTAL	103.00 m²

TYOLOGY SUMMARY

Levels	2
Car Pad	1
Bathroom	2

SITE LOCATIONS



Elevation Reference

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MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

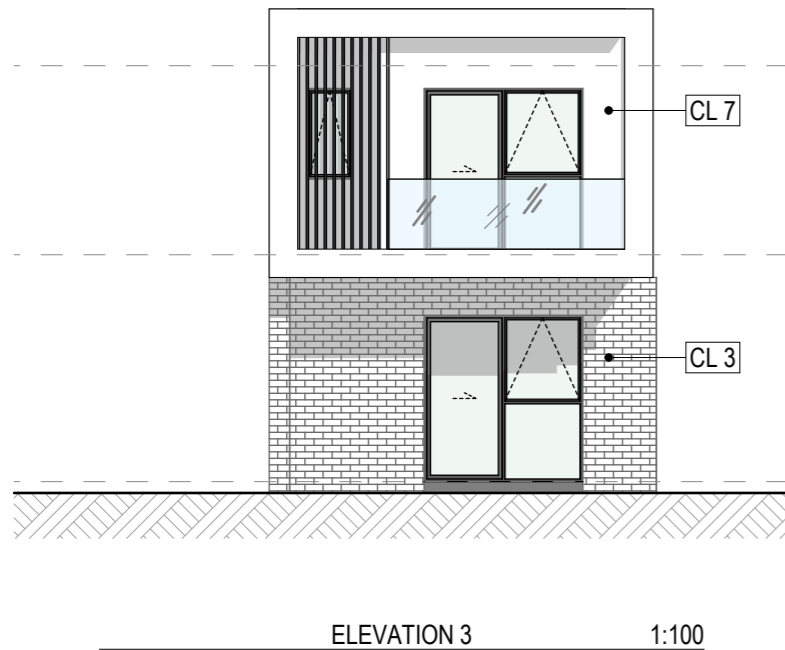
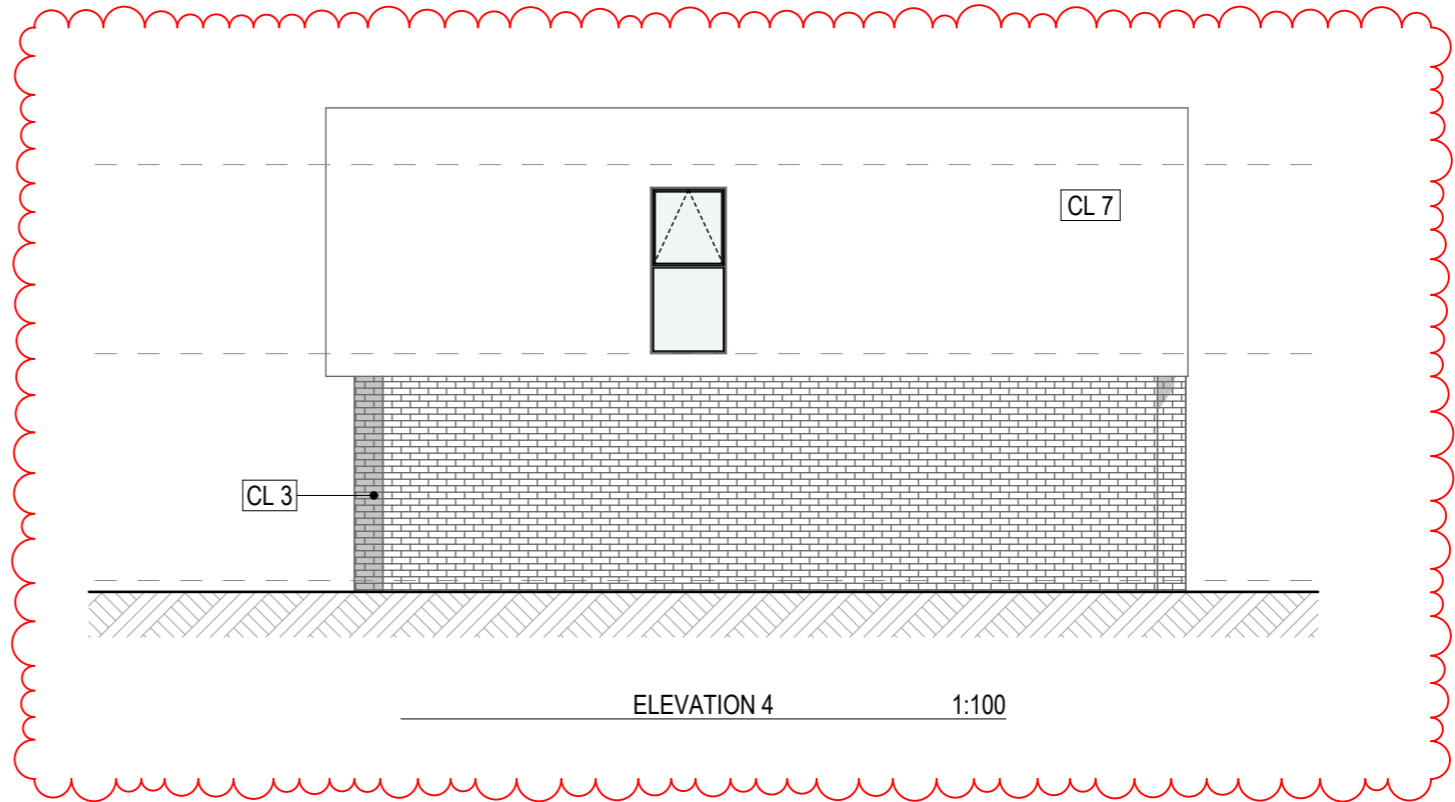
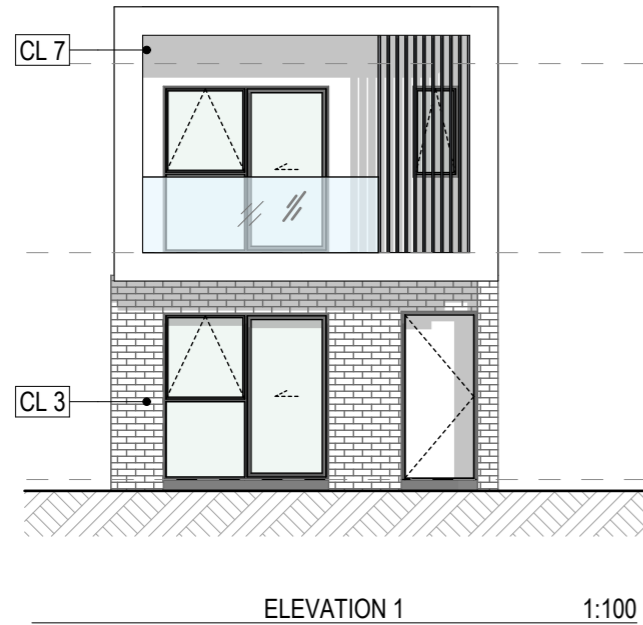
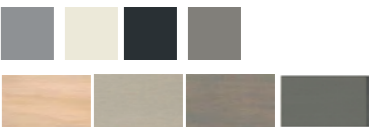
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

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Scale @A3: 1:100, 1:50

UNIT TYPE I2



Front



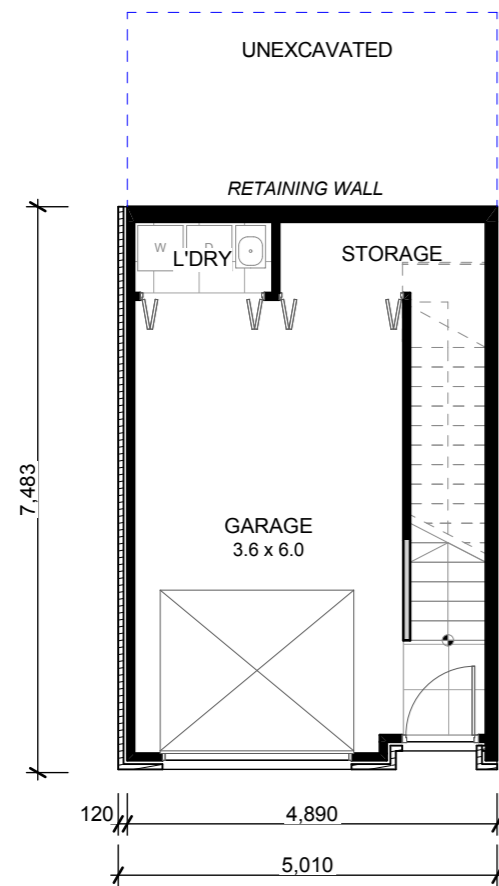
Rear

AREAS

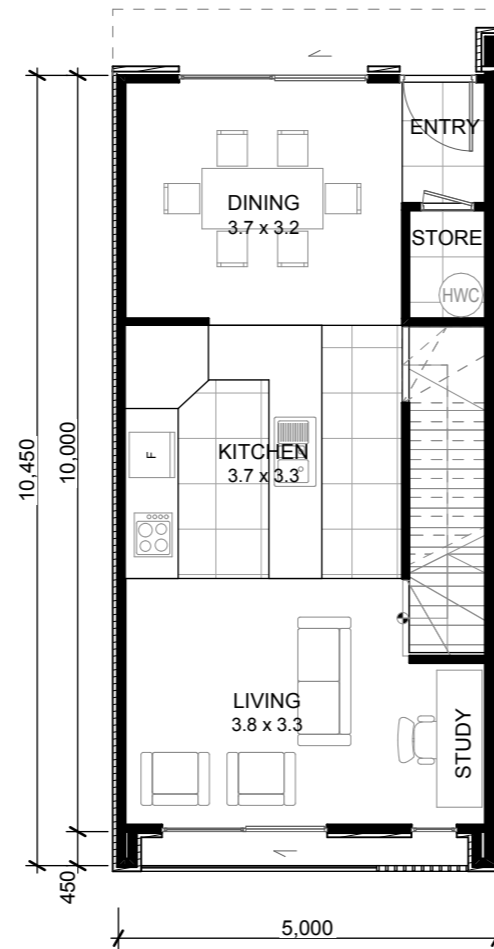
TYPE I2 - BASEMENT	35.89
TYPE I2 - GROUND	50.00
TYPE I2 - UPPER	53.00
TOTAL	138.89 m²

TYPOLGY SUMMARY

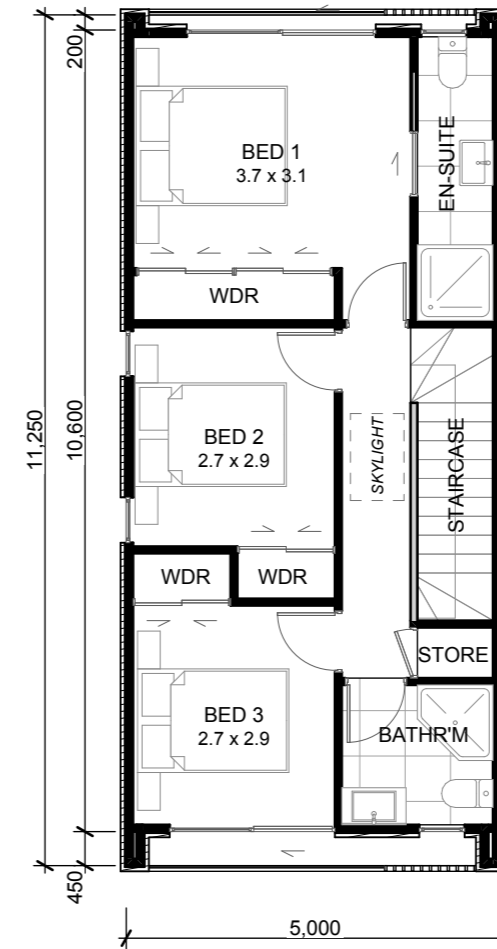
Levels	3
Garage	1
Bathroom	2



I2 - Basement 1:100

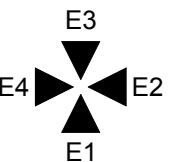
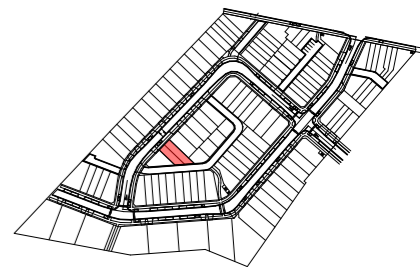


I2 - Ground Floor 1:100



I2 - First Floor 1:100

SITE LOCATIONS



Elevation Reference

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Northwest Developments Limited

18 Scott Road

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

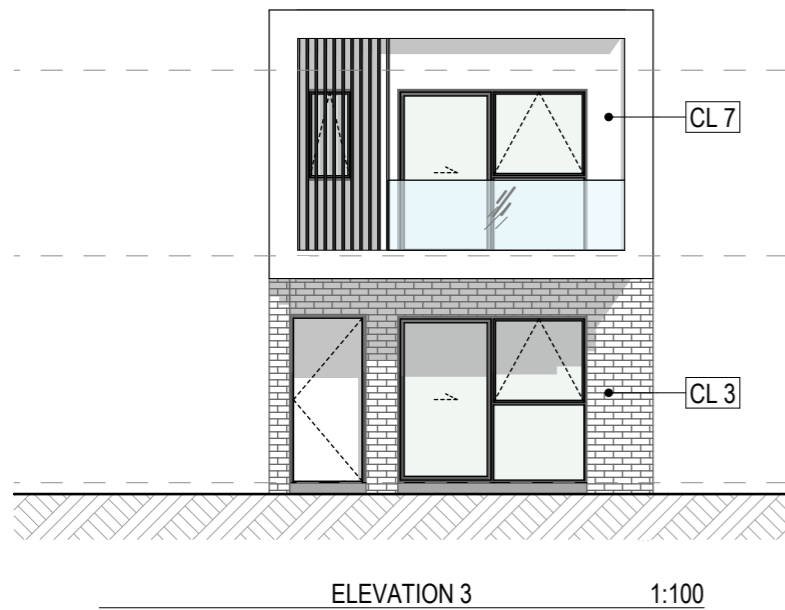
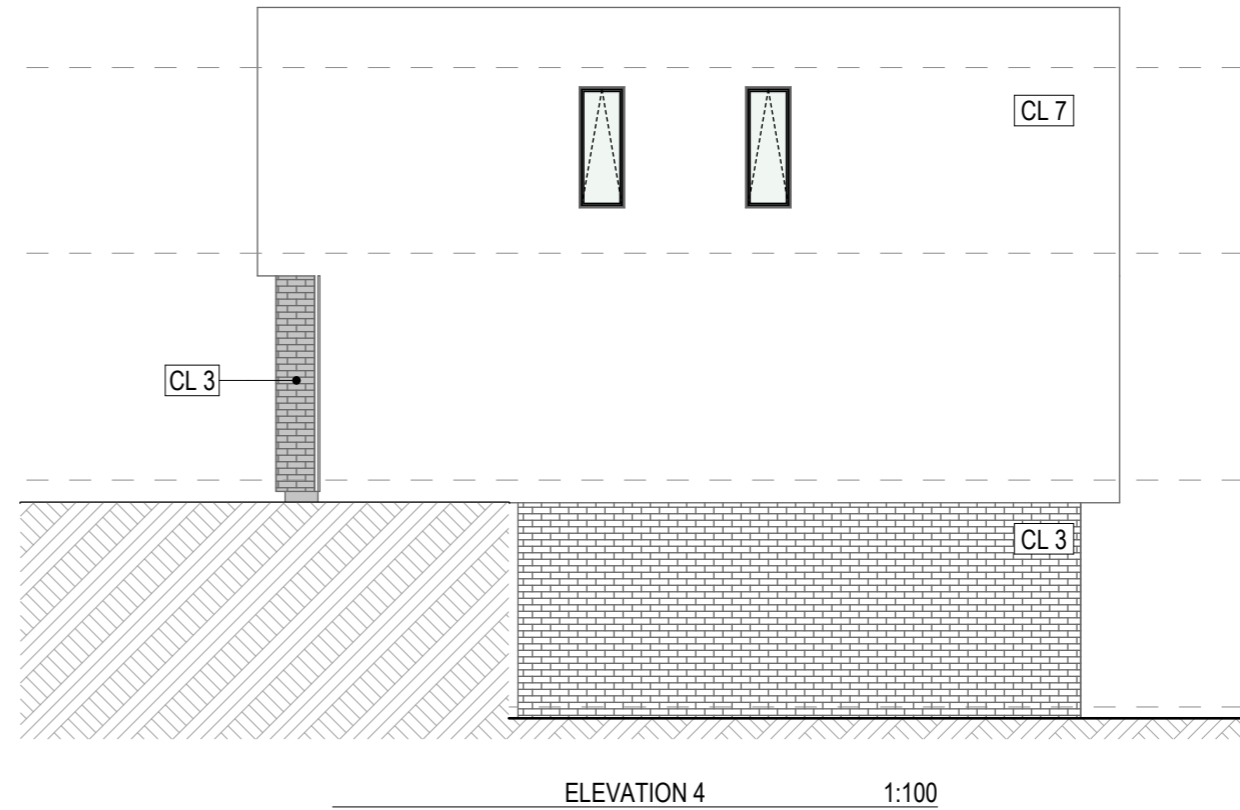
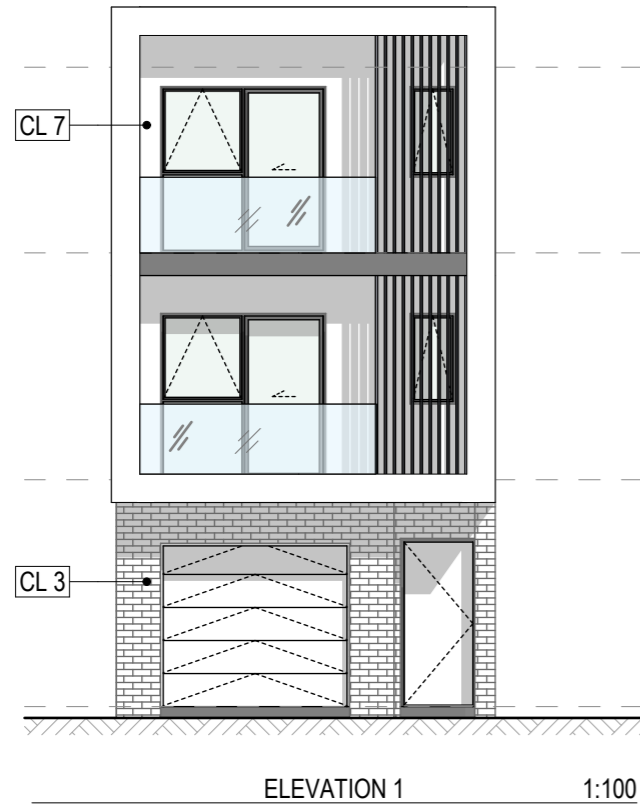
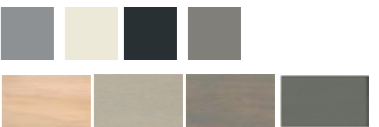
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

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MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

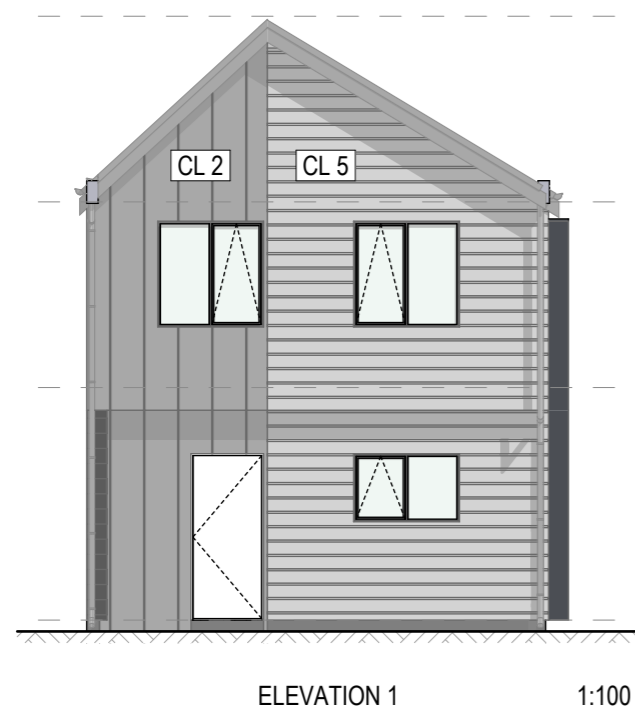
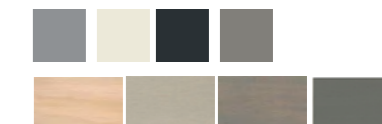
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

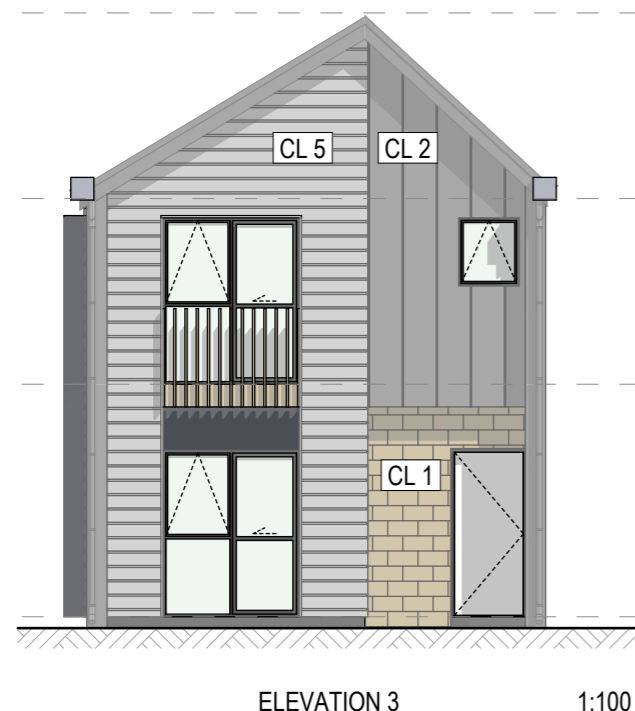
PAINT AND STAIN COLOUR PALETTE



ELEVATION 1 1:100



ELEVATION 2 1:100



ELEVATION 3 1:100

Elevations

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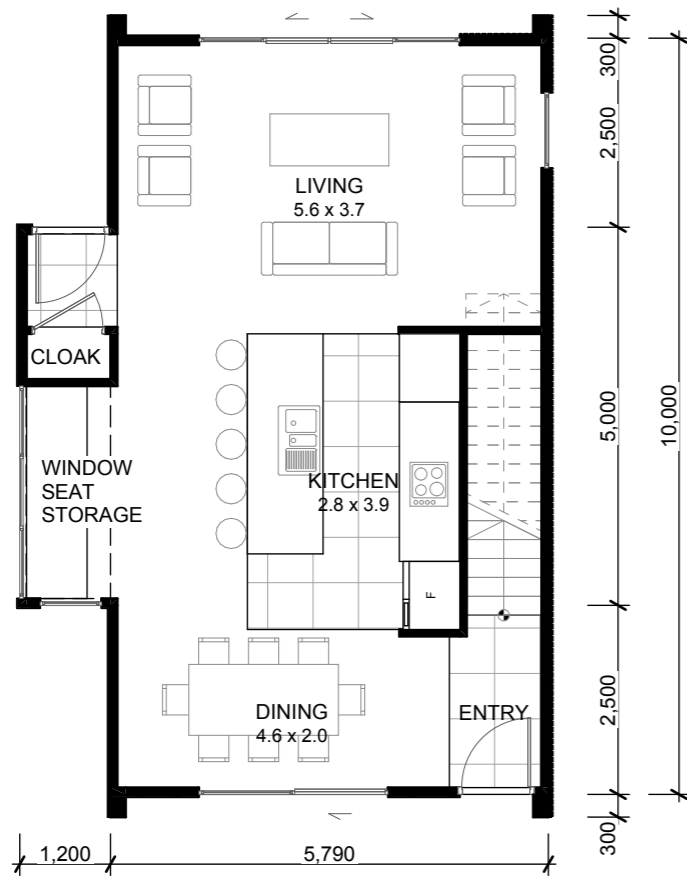
UNIT TYPE H

AREAS

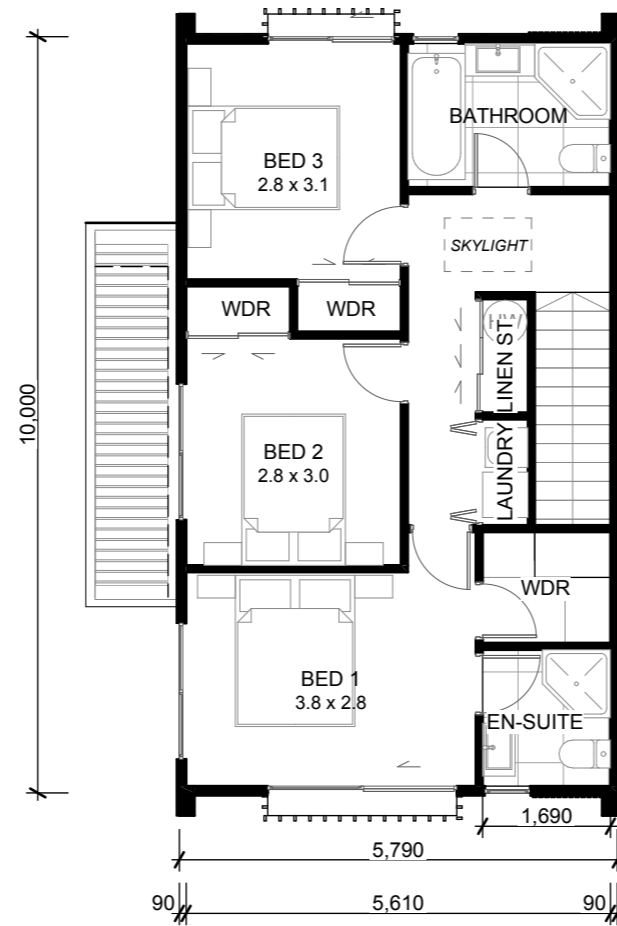
	Area m ²
TYPE H2 - GARAGE	19.68
TYPE H2 - GROUND	69.64
TYPE H2 - UPPER	69.64
TOTAL	158.96 m²

TYOLOGY SUMMARY

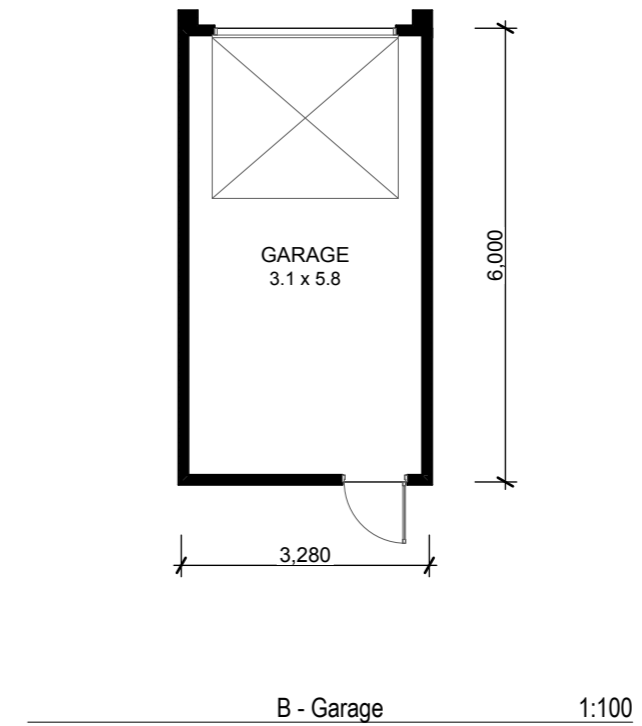
Levels	2
Garage	1
Bathroom	2



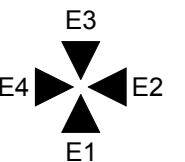
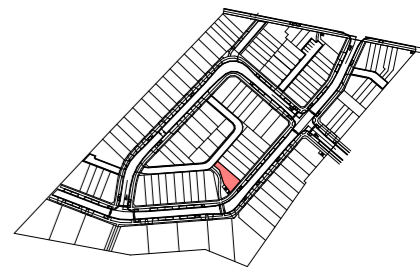
H - Ground Floor 1:100



H - First Floor 1:100



SITE LOCATIONS



Elevation Reference

UNIT TYPE H

MATERIALS AND COLOURS

CONCRETE MASONRY VENEER 70 SERIES

CL 1	
	Fair Faced Honed
Kohl	
Fireash	
Cream	

STANDING SEAM METAL CLADDING

CL 2	
------	--

BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
------	--

RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
------	--

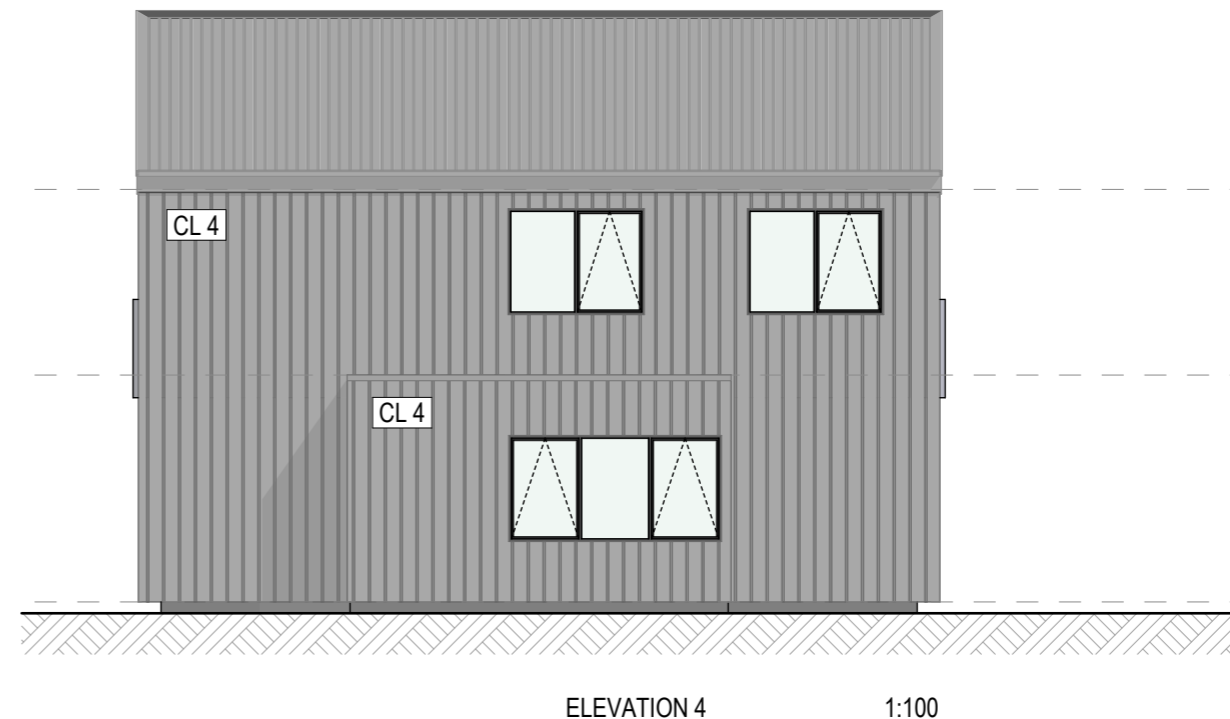
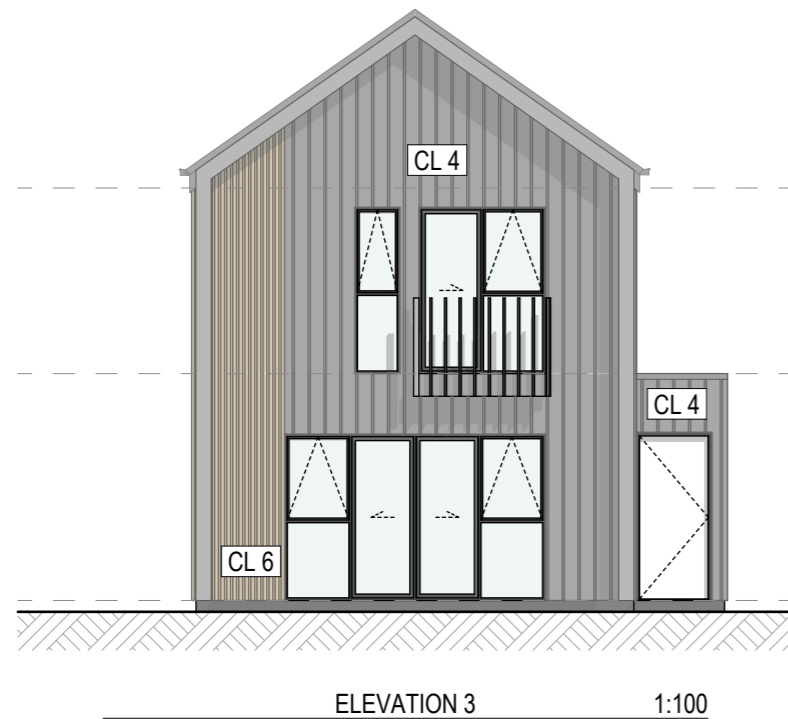
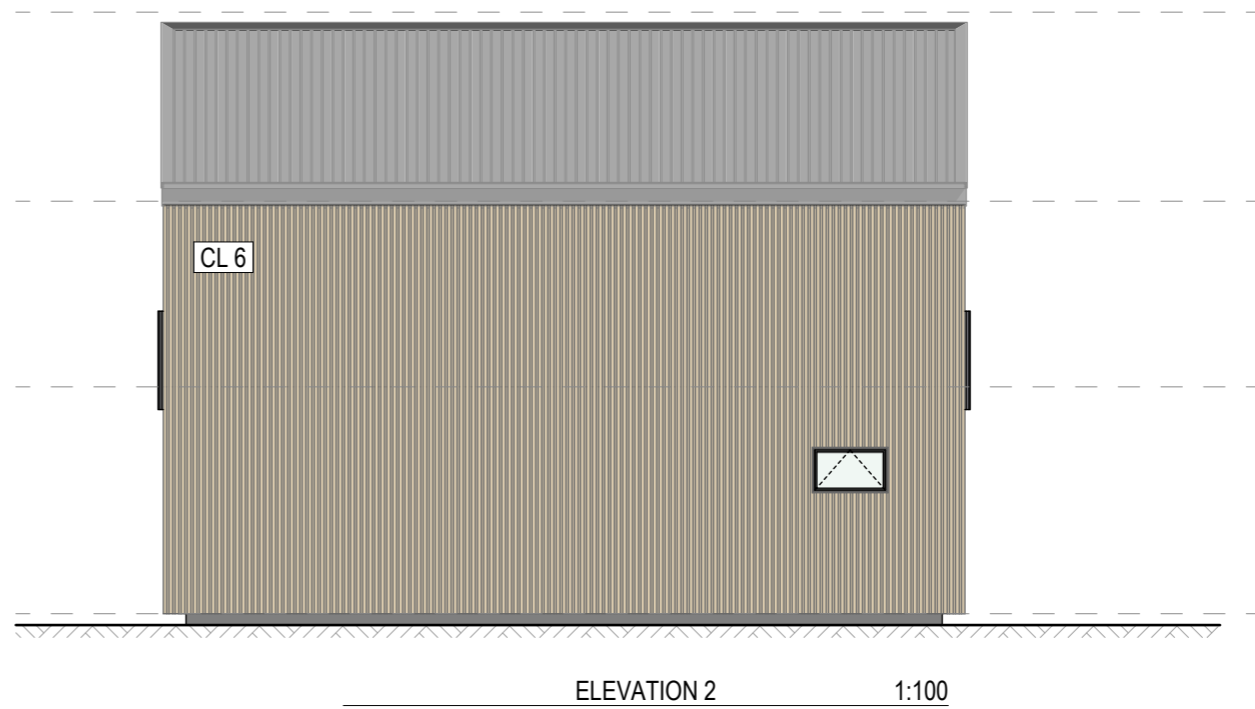
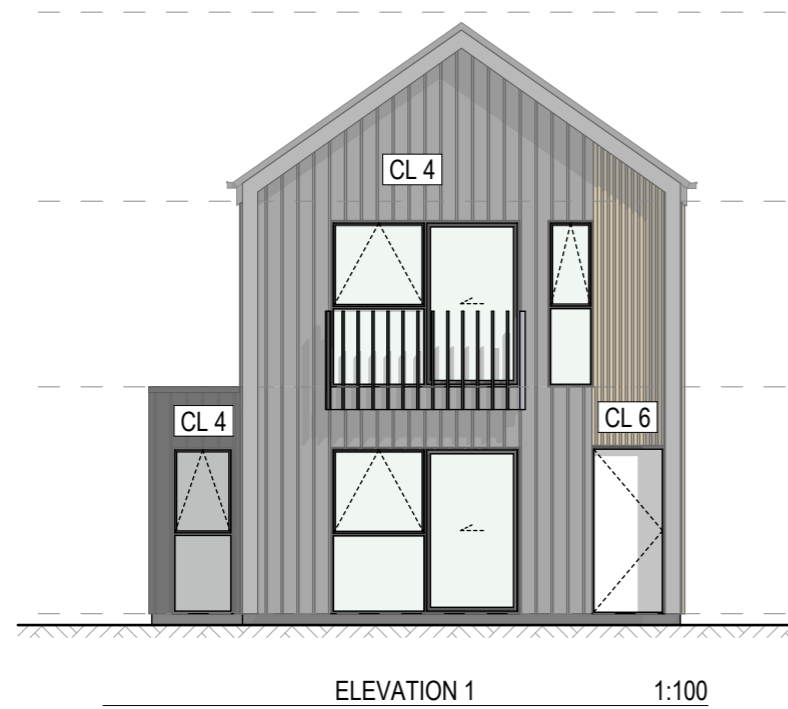
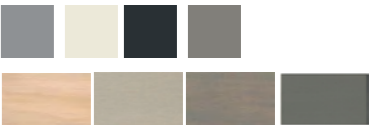
FIBRE CEMENT BOARD - VERTICAL

CL 6	
------	--

FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

Rev Date	9/03/2022
Job No.	5864
Sheet No.	Rev.
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Scale @A3: 1:100, 1:50





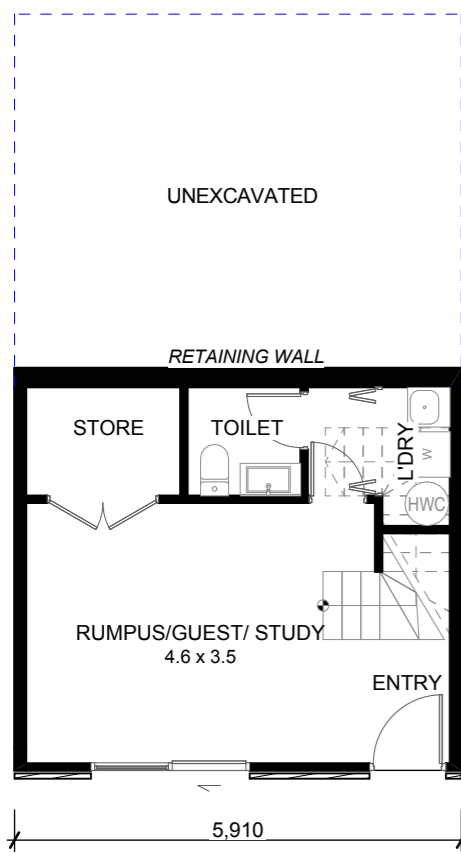
Elevation 1



Elevation 3

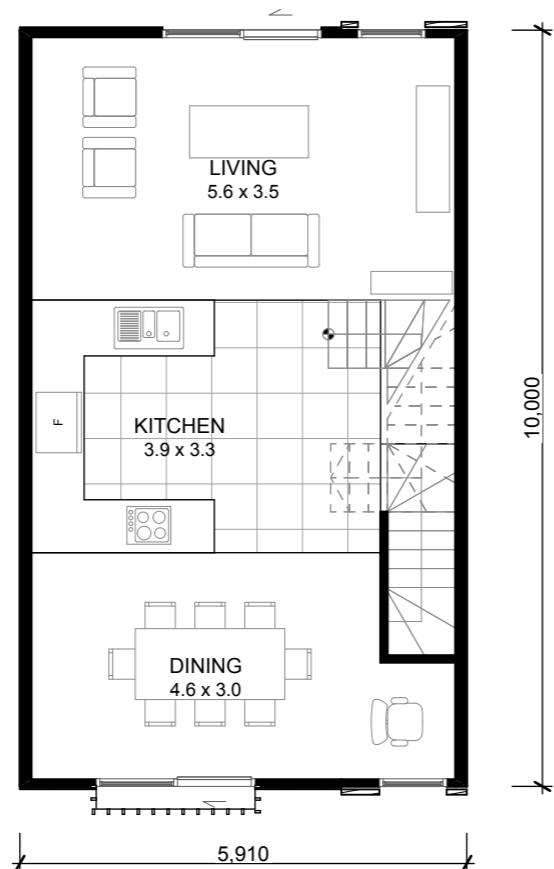
AREAS	
TYPE G1 - BASEMENT	31.45
TYPE G1 - GARAGE	19.68
TYPE G1 - GROUND	59.10
TYPE G1 - UPPER	59.10
TOTAL	169.33 m²

TYPOLOGY SUMMARY	
Levels	3
Garage	1
Bathroom	2
WC	1



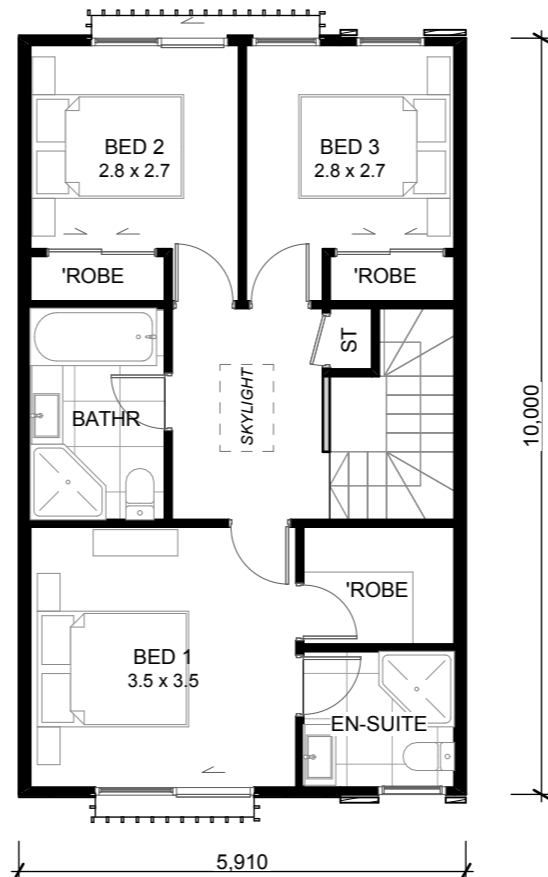
G1.2 - Basement

1:100



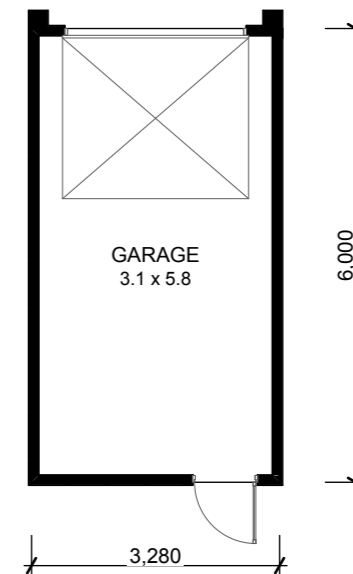
G1.2 - Ground Floor

1:100



G1.2 - First Floor

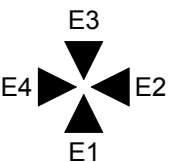
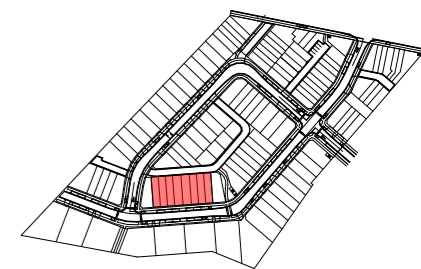
1:100



G1.2 - Garage

1:100

SITE LOCATIONS



Elevation Reference

MATERIALS AND COLOURS

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STANDING SEAM METAL CLADDING

CL 2	
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BRICK VENEER - PAINTED

CL 3	
------	--

RUSTICATED WEATHERBOARD - VERTICAL

CL 4	
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RUSTICATED WEATHERBOARD - HORIZONTAL

CL 5	
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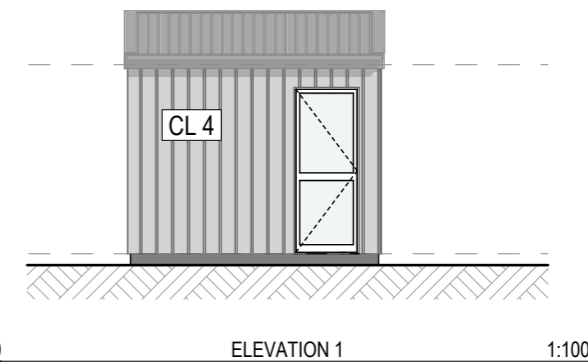
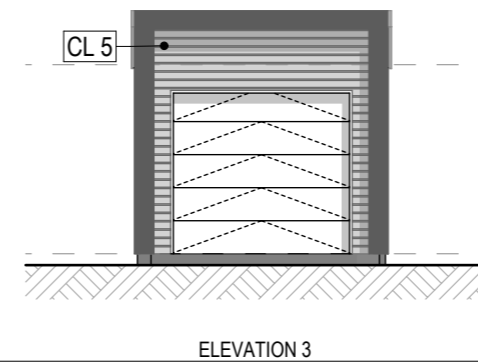
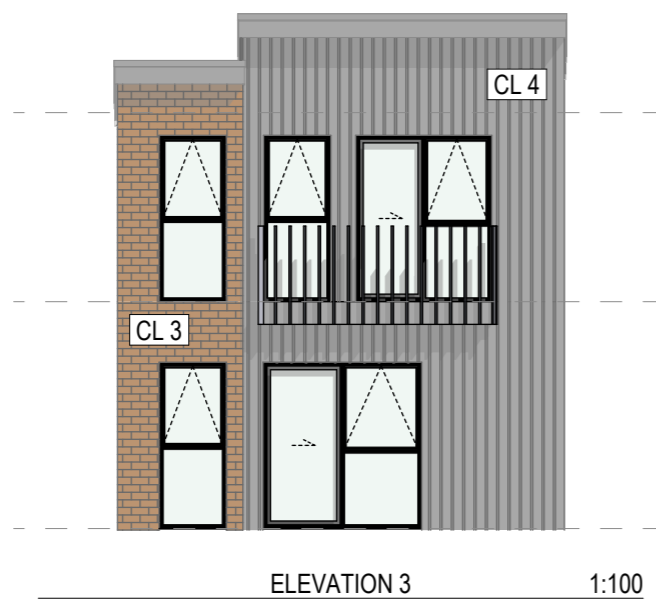
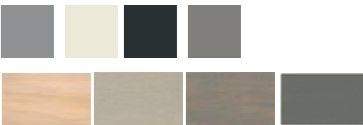
FIBRE CEMENT BOARD - VERTICAL

CL 6	
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FIBRE CEMENT PANELS

CL 7	
------	--

PAINT AND STAIN COLOUR PALETTE



Elevations

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